

# Planning Commission



## Minutes for the Wednesday, August 21, 2024, Regular Meeting

### *Members of the Planning Commission*

Dr. Christine Crawford

*Chair*

Bob Bigger, Vice Chair

Jesse Elliott

Lisa Christie

Chelsea Waddell

Rett Harbeson

Erin Slade

1. **Call to Order** 6:00p.m.
2. **Roll Call** All members were in attendance.
3. **Approval of Minutes** – July 17, 2024 Regular Meeting  

Erin Slade made the 1<sup>st</sup> motion to approve the minutes. Rett Harbeson seconded the motion. The minutes were approved unanimously.
4. **Confirmation of Agenda** No changes were made to the agenda.
5. **ANX24-004** – Annexation - A request by Hoyt and Berenyi, LLC and Sunset 378 Land, LLC to annex ±36.053 acres located at 381 Laurel Lake Drive, TPN 010-16-01-001. The property is requested to be zoned TC, Thoroughfare Commercial.

a. Consideration of the Annexation request by the Planning Commission  
Tommy Paradise stated that application ANX24-004 and the following application ANX24-005 are companion applications. He stated that the property is recommended to be zoned Thoroughfare Commercial due to the industrial nature and surrounding businesses. He also stated that the applicant wants access to city water services.

Applicant Cam Sessions of 835 Forest Drive in Charleston, SC approached the podium. He stated that he hopes to develop the parcel as a Motor Freight Terminal.

Tommy Paradise stated that the application is only for the annexation and not the site plan for the Motor Freight Terminal.

The floor was opened for public comments and concerns.  
There were no public comments made.

**b. Recommendation to City Council**

Jesse Elliott made the 1<sup>st</sup> motion to recommend approval of the annexation and Thoroughfare Commercial zoning for the property. Chelsea Waddell seconded the motion. The motion was unanimously approved.

**6. ANX24-005** – Annexation – A request by Hoyt and Berenyi, LLC and Sunset 378 Land, LLC to annex ±2.44 acres located at 210 Twin Hills Road, TPN 010-15-01-002. The property is requested to be zoned TC, Thoroughfare Commercial.

**a. Consideration of the Annexation request by the Planning Commission**

Mr. Paradise reiterated that the application is in tandem to application ANX24-004. He states that the parcels from application ANX24-004 and ANX24-005 are proposed to be combined for the development of the property. He continued by stating that the applicant is asking for the parcel to be annexed and zoned Thoroughfare Commercial in hopes to develop a Motor Freight Terminal.

Jesse Elliott asked if there was a structure already on the property

Applicant Cam Sessions of 835 Forest Drive in Charleston, SC approached the podium. He stated that the property currently has a lease for disposal containers and tanks to be stored. He stated if the application is approved, the lease commitment to store the containers and tanks will no longer be fulfilled.

The floor was open for public comments and opinions.  
There were no public comments made.

**b. Recommendation to City Council**

Jesse Elliott made the 1<sup>st</sup> motion to recommend approval of the annexation and Thoroughfare Commercial zoning for the property. Chelsea Waddell seconded the motion. The motion was unanimously approved.

7. **PP22-008** – Major Subdivision Preliminary Plat – A request by Stanley Martin Homes for approval of 92 townhomes in The Hive Section 1 located on ±16.2 acres off Knobcone Avenue, a portion of TPN 001-20-01-004 zoned PD, Planned Development.
  - a. Consideration of the Major Subdivision Preliminary Plat application by the Planning Commission

Tommy Paradise stated that over a year ago there was an approved modification to The Hive to allow detached housing near the interstate and townhomes near Wellington. He continued by stating that the approved modification had requirements that must be met by the developer. Mr. Paradise stated that The Hive development is large in size and continued by displaying a map of the proposed development on the overhead monitor for the members of the Planning Commission and the public to view. He stated that staff have reviewed the Preliminary Play and recommends its approval with stipulations to the road names, its conditional approval of implementation traffic mitigation required by SCDOT, vinyl siding not being used an exterior wall material and any outstanding comments by staff be addressed.

Erin Slade asked about the traffic study and the connector to Pinion Rd.

Mr. Paradise stated that it was not a part of the current application but expressed that the connector is vitally important to Public Safety.

Applicant Sean Smith with Cranston Engineering at 452 Ellis Street in Augusta, approached the podium. He stated that the buffer behind the townhomes is the strongest buffer that two residential areas could have. He stated that there will be traffic improvements on Knobcone and West Martintown Rd and that the improvements would be completed before residents move into the development.

Chelsea Waddell asked if the applicant had specific measurements of the shrubs and trees in the buffer.

Mr. Smith stated that the buffer is 20ft wide with a mixture of shrubs and trees. He stated he did not have the exact measurements for the height of the trees but stated that the trees are classified as large trees. He stated that the townhomes of the development sit a few feet below the residential lots and have a visual impairment.

Lisa Christie asked if the townhomes would be 2-bedroom units or 3-bedroom units.

Mr. Smith stated that they will be 3-bedroom units and will be priced specifically due to the material used for construction of the development.

Chairman Christine Crawford asked about the price point for the townhomes.

Mr. Smith stated that he was unable to give an exact price but estimated approximately \$300,000+.

The floor was open for public comments and opinions.  
There were no public comments made.

Jesse Elliott made the 1<sup>st</sup> motion for approval with the following conditions:

1. Approval and implementation of any traffic mitigation required by South Carolina DOT and the city for The Hive plan developments overall infrastructure plans.
2. Vinyl Siding will not be used as an exterior wall material for homes in Tract A.
3. Major Subdivision Preliminary Plat approval includes certification of the use of the road names "Buzz Crossing" and "Peony Court".
4. Any outstanding comments will be addressed to the satisfaction of city staff.

Chelsea Waddell seconded the motion. The motion was unanimously approved.

## **8. Staff Report**

- a. July Performance Report

## **9. Adjourn**

The meeting was adjourned at 6:35 p.m.

Respectfully Submitted,

Thomas L. Paradise, Director  
Department of Planning and Development

# Planning Commission



**Minutes for the Wednesday, September 18, 2024 Study Session**  
Municipal Center – 6:00 p.m., 100 Georgia Avenue, Third Floor – Council Chambers

## *Members of the Planning Commission*

Dr. Christine Crawford

*Chair*

Bob Bigger, Vice Chair

Chelsea Waddell

Jesse Elliott

Rett Harbeson

Lisa Christie

Erin Slade

*CITIZEN ASSISTANCE: Individuals requiring special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development 48 hours prior to the meeting at 803-441-4221.*

### **1. Call to Order – 6:00 p.m.**

All members except Lisa Christie and Chelsea Waddell were present.

### **2. Discussion – North Augusta Development Code**

Chairman Christine Crawford noted that there were a number of typos in the newly adopted development code that needed to be discussed and asked Tommy Paradise to lead the conversation.

Mr. Paradise began the discussion with Article 4- Zoning Districts Established and the typo that refers the reader to section 6.4 regarding parking instead of Article 8. He continued to Article 10- Mobility Table 10.2 & 10.4 and recommended adding notes to refer the reader to Tables 14.2, 14.3, and 14.4.

Mr. Paradise discussed Article 9-Signs Table 9.3 which allowed the maximum signage for DTMU1 and DTMU2 zoning districts to have 100 sq ft and Table 9.6.3.2.a states

maximum total square feet of sign area permitted shall be 200 sq ft or 3 sq ft per linear foot of street frontage, whichever is less. Mr. Paradise recommended either separating DTMU1 and DTMU2 signage to 100 sq ft and 200 sq ft or amending Tables 9.3 and 9.63.2.a to agree. Planning Commission decided to amend the table to reflect 200 sq ft or 3 sq ft per linear foot of street frontage.

Planning Commission discussed Article 19 regarding abandonment of use and nonconforming use. They decided to leave the wording as is and have Article 3.5.4 address reestablishment limits. Mr. Paradise proceeded to discuss placing missing wording for abandoned nonconforming signs into Article 9-Signs. The Planning Commission recommended adding "Nonconforming signs abandoned for 6 months or longer shall be removed" to Article 9-Signs.

Planning Commission decided to make an edit to 7.6 Street Tree Landscaping requirements tables to reflect the buffer width and buffer points.

Mr. Paradise continued to speak about lighting curfews and pole height allowed which is not listed in the current development code. Planning Commission decided to recommend the edit be added to Article 14.2 Lighting Standards.

Mr. Paradise spoke about currently not having the criteria for site plan and general development plan approval listed in the current development code as it was in the previous development code. The Planning Commission decided to add wording to Article 18- Administration and Enforcement.

Mr. Paradise stated that Article 18 regarding variances does not give approval criteria for variances and recommends adding the criteria from the previous development code which stated that the Board of Zoning Appeals would review the variances before approval, as well as the rules and procedures of approval.

Mr. Paradise spoke about "Halo" signs and canopy signs not being allowed in the DTMU1 or DTMU2 zoning districts and asked of the Planning Commission would recommend allowing the type of signage. Planning Commission decided to not recommend "Halo" signage or canopy signage be added to the North Augusta Development Code at this time and recommended having an architectural study performed on those types of signs before recommending the change.

- 3. Adjourn** – The meeting was adjourned at 7:45pm.

Respectfully Submitted,

Thomas L. Paradise, Director  
Department of Planning and Development  
Secretary to the Planning Commission

# Department of Planning and Development



## Project Staff Report

**RZT24-003 Various Corrections/Amendments**

**Prepared by: Tommy Paradise**

**Meeting Date: October 16, 2024**

### **SECTION 1**

|                         |   |
|-------------------------|---|
| Project Name            | Amend/Correct Development Code  |
| Applicant               | City of North Augusta   |
| Proposed Text Amendment | A request from the City of North Augusta to amend/correct Development Code text and tables. |

### **Section 2: General Description**

In December 2023 a new North Augusta Development Code (NADC) was adopted. It was the intent for much of the text and tables to convert over to the undated code. During this process there were several typing errors, the creation of conflicting text and tables, omitted wording and tables and other miscellaneous errors. The purpose of these text amendments are to correct these errors, omissions, conflicts.

### **Section 3: Planning Commission Consideration**

The Planning Commission is being asked to review the request for a text amendment based on the following provisions of the North Augusta Development Code:

**17.4.1 Authority Under This Article.** The Planning Commission (Commission) shall have all the powers and duties as assigned by §6-29-340 of the South Carolina Local Government Comprehensive Planning Enabling Act (Title 6) to be carried out in accordance with these regulations as detailed in Article 17 and in the adopted Rules of Procedure for the Commission.

In addition, the Commission shall have any other power or duty as assigned by the City Council in conformity with Title 6.

**6-29-340 South Carolina Code of Laws.** Functions, powers, and duties of local planning commissions.

(B) In the discharge of its responsibilities, the local planning commission has the power and duty to:

(2) prepare and recommend for adoption to the appropriate governing authority or authorities as a means for implementing the plans and programs in its area:

(a) zoning ordinances to include zoning district maps and appropriate revisions thereof, as provided in this chapter;

### **18.11 Rezoning and Text Amendments**



This section applies to any application for an amendment to the text of this Chapter or for an amendment to the Official Zoning Map, also known as a “rezoning.” Such amendments must be submitted to the Planning Commission for review and recommendation to City Council, who may then vote to amend the Chapter or Official Zoning Map. Appropriate application forms for text amendment or rezoning shall be provided by the Director of Planning or his designee. A pre-application conference is recommended before the application is submitted to discuss the procedures and requirements for the amendment request and identify the submittal requirements.

#### **18.11.2 Text Amendment.**

Any person, property owner, board, commission, department, or the City Council may apply for a change in the zoning ordinance text. Such amendment may be initiated by filing an application per the requirements of the City’s Administrative Manual with the Department. The application shall be signed by the applicant and shall include the language of the proposed amendment to the text of this Chapter and the justification for the proposed change.

#### **18.11.3 Application Review.**

The Department shall complete a review of the application and determine if the application is complete. If the application is incomplete, it will be returned to the applicant. If the application is complete, the Planning Director shall review the request and create a written recommendation for Planning Commission and Council consideration. The Director may forward the request to the Technical Review Committee for additional review and information.

**8.11.4 Decision.** The Director shall transmit the application for zoning amendment or rezoning to the Planning Commission at its next regularly scheduled monthly meeting, provided the complete application is submitted at least 30 calendar days prior to the meeting. The Planning Commission shall approve or deny the zoning amendment in accordance with the procedures for a legislative hearing as provided in the City’s Administrative Manual and the S.C. Code §6-29-760.

1. The Planning Commission shall submit its recommendation to City Council within 30 calendar days after the initial hearing date (S.C. Code §6-29760(A). A majority vote is required for the Planning Commission to approve, approve with conditions (if applicable), or deny a rezoning or text amendment application.
2. The City Council shall consider the recommendation of the Planning Commission and staff on each proposed rezoning and text amendment within 30 days of receipt of the Planning Commission recommendation. The A City Council must consider, but is not bound by, the Planning Commission recommendation in making a final decision and may call for additional information or public hearing(s).
3. No challenge to the adequacy of notice or to the validity of a rezoning or text amendment may be made 60 days after the decision of the City Council if there has been substantial compliance with the notice requirements of this section, with the established procedures of the City Council and Planning Commission, and with S.C. Code §6-29

The Planning Commission is being asked to review the proposed text changes and provide a recommendation of approval or denial, which will be forwarded to the City Council. Section 18.11 does not require additional standards for analysis to address in this staff report.

#### **Section 4: Public notice**

A public notice of the text amendment request and scheduled date of the Planning Commission public hearing was published in the *Augusta Chronicle* and on the City's website [www.northaugustasc.gov](http://www.northaugustasc.gov) on September 29, 2024.

#### **Section 5: History**

The North Augusta Development Code that was adopted by City Council December 17, 2007, effective January 1, 2008 was repealed and replaced by the North Augusta Development Code adopted by City Council on December 18, 2023. The 2023 Development Code is consistent with the Comprehensive Plan Update of 2022. Public comments were solicited through formal public hearing and informal communication throughout the multiyear development of the code

The North Augusta Planning Commission recommended approval of a draft Development Code and referred to City council on June 6, 2023. City Council, in accordance with Section 6-29-760 of the South Carolina Code of Laws held a public hearing on September 11, 2023. Based on information from the public hearing the Development Code draft was referred back to the Planning Commission for further recommendations.

At the October 18, 2023 Planning Commission meeting the Commission heard public input and reviewed issues that were heard in Council's public hearing. At the November 15, 2023 meeting of the Planning Commission, the Commission recommended a revised draft for adoption by City Council. City Council adopted this draft at their December 18, 2023 meeting.

#### **Section 6: Summary of Changes and Proposed Amendments**

The Planning Director requested that the Planning Commission review several issues at a study session on September 18, 2024. As a result of that study session the Planning Commission indicated that they would like to see several changes to correct typing errors, the creation of conflicting text and tables, omitted wording and tables and other miscellaneous errors. Planning Director is requesting several text amendments that are provided in detail in Attachment A of this document.

#### **Applicant Request:**

Applicant requests a text amendment to the Development Code as outlined in detail in Attachment A of this document

# Application for Development Approval

Please type or print all information



| Staff Use                            |                              |
|--------------------------------------|------------------------------|
| Application Number <u>D2T 24-003</u> | Date Received <u>9/29/24</u> |
| Review Fee <u>NA</u>                 | Date Paid <u>NA</u>          |

- Project Name** Text Amendments to Development Code  
**Project Address/Location** 100 Georgia Ave.  
**Total Project Acreage** \_\_\_\_\_ **Current Zoning** \_\_\_\_\_  
**Tax Parcel Number(s)** \_\_\_\_\_
- Applicant/Owner Name** Tommy Paradise **Applicant Phone** 803.441.4221  
**Mailing Address** 100 Georgia Ave.  
**City** North Augusta **ST** SC **Zip** 29841 **Email** tparadise@northaugustasc.gov
- Is there a Designated Agent for this project?** \_\_\_\_\_ Yes   No  
If Yes, attach a notarized Designation of Agent form. (required if Applicant is not property owner)
- Engineer/Architect/Surveyor** \_\_\_\_\_ **License No.** \_\_\_\_\_  
**Firm Name** \_\_\_\_\_ **Firm Phone** \_\_\_\_\_  
**Firm Mailing Address** \_\_\_\_\_  
**City** \_\_\_\_\_ **ST** \_\_\_\_\_ **Zip** \_\_\_\_\_ **Email** \_\_\_\_\_  
**Signature** \_\_\_\_\_ **Date** \_\_\_\_\_
- Is there any recorded restricted covenant or other private agreement that is contrary to, conflicts with or prohibits the use or activity on the property that is the subject of the application?**  
(Check one.) \_\_\_\_\_ yes \_\_\_\_\_ no
- In accordance with Section 5.1.2.3 of the North Augusta Development Code, I hereby request the City of North Augusta review the attached project plans. The documents required by the City of North Augusta, as outlined in Appendix B of the North Augusta Development Code, are attached for the City's review for completeness. The applicant acknowledges that all required documents must be correct and complete to initiate the compliance review process.
- Tommy Paradise  
**Applicant or Designated Agent Signature** \_\_\_\_\_ **Date** 9-29-24  
Tommy Paradise  
**Print Applicant or Agent Name** \_\_\_\_\_

# Department of Planning and Development

## Memorandum # 24-023

**To:** Planning Commission  
**From:** Tommy Paradise, Director  
**Subject:** Proposed Amendments to the Development Code  
**Date:** October 6, 2024

During the Planning Commission's study session of September 18<sup>th</sup>, the Planning Commission and staff discussed what appears to be several errors and omissions in the Development Code adopted December 2023. Based on that meeting, staff has compiled some of the recommendations. These are being submitted to the Planning Commission for a recommendation to City Council. The underlined wording is added and the strikethrough indicates deletion.

The attached pages shows the draft wording with the underlined wording indicates wording added and the strikethrough indicates deletion of wording. Below is a synopsis of the proposed changes:

- 1) Amended parking reference from Section 6.4 to Article 8 for all of the residential and commercial districts, DTMU2, CPMU, Industrial, Critical Area and Manufactured Residential Home districts. In DTMU1 Article was added to the additional requirement.
- 2) R-5 minimum side setback amended from a minimum of 15' to 5'
- 3) Public Use District height is amended from a maximum of 35' to unlimited
- 4) Manufactured Home Residential Dwellings/Acre added to Residential intensity
- 5) Notes to Tables 10.2 & 10.4 are added. These notes were in the previous code for these charts.
- 6) Table 9.3 Signs Areas Permitted amended for DTMU1 & DTMU2 from 100 sf to 200 sf to de-conflict with 9.6.3.2.a which allows 200 sf in these districts
- 7) Add 9.8 Repair and Replacement and 9.9 Non-Conforming Signs to Article 9 signs. Wording comes from previous code.
- 8) Amend Table 7.6 column for Minimum Width of Planting area to Table 10.2
- 9) Amend Article 14 to include Fixture Mounting and Allowable Height, Outdoor Sports Facilities Lighting, and Lighting Curfew

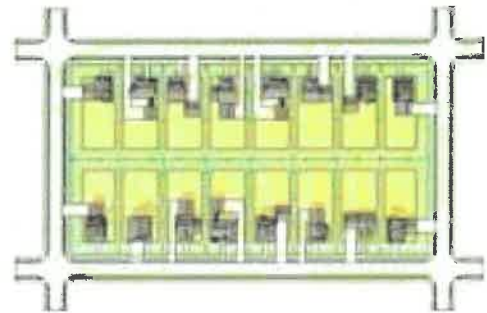
### 4.12.1 Residential R-14 (1/3 Acre) - Large Lot Single Family District

The purpose of this district is to recognize and promote the character of particular areas in North Augusta where single-family residential development is the predominant living environment. Changing patterns of work and home environments also create incentives to view the single-family dwelling as a place of work and residential living activities.

| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | 14,000 (sf)                          |
| Minimum Lot Frontage                                  | 40'                                  |
| Lot width at the building line                        | 70'                                  |
| Front Yard (min/max)                                  | 25'/none                             |
| Side Yard   | 8'                                   |
| Rear Yard   | 20'                                  |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | 3.5 Dwellings/Acre                   |
| Impervious Surface Ratio                              | 0.3                                  |
| Floor Area Ratio                                      | None                                 |
| Maximum Structure Height <sup>2</sup>                 | 35'                                  |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |
| <sup>2</sup> See exceptions to height limitations     |                                      |



Aerial precedent image



Plan view illustration of typical development configuration

Perspective view of typical development configuration



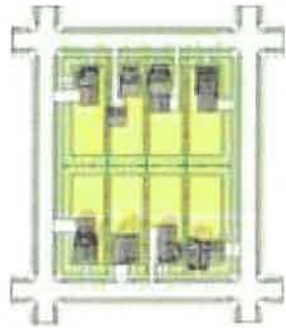
### 4.12.2 Residential R-10 – Medium Lot Single-Family District

The purpose of this district is to recognize and promote the character of particular areas in North Augusta where single-family residential development is the predominant living environment. Changing patterns of work and home environments also create incentives to view the single-family dwelling as a place of work and residential living activities.

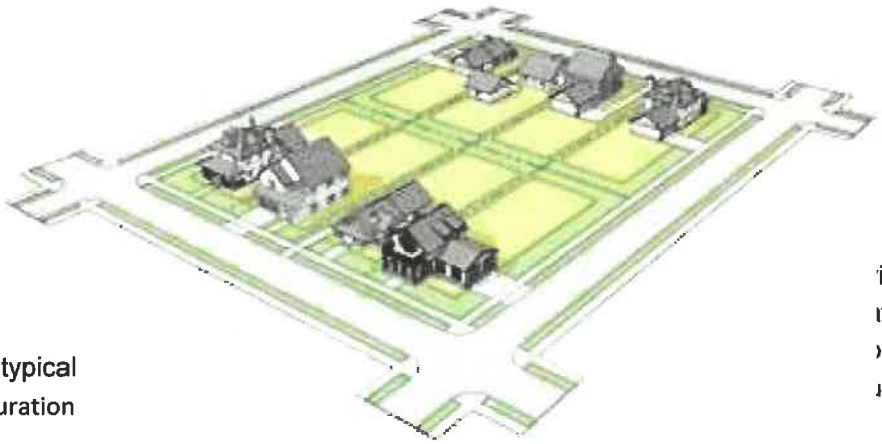
| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | 10,000 (sf)                          |
| Minimum Lot Frontage                                  | 40'                                  |
| Lot width at the building line                        | 50'                                  |
| Front Yard (min/max)                                  | 15'/none                             |
| Side Yard   | 5'                                   |
| Rear Yard   | 15'                                  |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | 4.5 Dwellings Per Acre               |
| Impervious Surface Ratio                              | .3                                   |
| Floor Area Ratio                                      | None                                 |
| Maximum Structure Height <sup>2</sup>                 | 35'                                  |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

View illustration of typical development configuration

### 4.12.3 Residential R-7 – Small Lot Single-Family District

The purpose of this district is to provide for a variety of single-family housing types on small lots to meet market demands for smaller lot developments. It is also the intent of this district to balance higher densities with common open space.

#### 1. Lot Standards and Buildable Area <sup>1</sup>

|   |            |
|---|------------|
| Minimum Lot Size <sup>2</sup>               | 7,000 (sf) |
| Minimum Lot Frontage                        | 15'        |
| Lot width at the building line <sup>3</sup> | 40'        |
| Front Yard (min/max)                        | 5'/25'     |
| Side Yard                                   | 5'         |
| Rear Yard                                   | 15'        |

#### 2. Use and Intensity

|                                       |                                      |
|---------------------------------------|--------------------------------------|
| Permitted Land Use                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                 | 7 Dwellings Per Acre                 |
| Impervious Surface Ratio <sup>4</sup> | 0.4                                  |
| Floor Area Ratio                      | None                                 |
| Maximum Structure Height <sup>5</sup> | 45'                                  |

#### 3. Site Specific Design Standards

|         |                           |
|---------|---------------------------|
| Parking | See Section 6.4 Article 8 |
|---------|---------------------------|

#### 4. Required Review and Approval Processes

|                                     |                     |
|-------------------------------------|---------------------|
| Subdivision Standards               | See Article 16      |
| Building, Lot, and Design Standards | See Articles 6 & 14 |
| Mobility Standards                  | See Article 10      |

#### 5. District Exceptions and Notes

<sup>1</sup> See methods for dimensional measurements

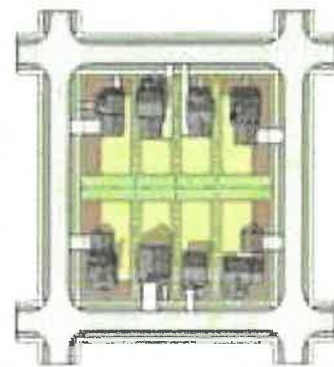
<sup>2</sup> Minimum lot size requirements do not apply to patio homes, duplexes, rowhouses, townhouses, or any other multifamily dwelling units. The minimum lot size figures are expressed in square feet, unless otherwise indicated.

<sup>3</sup> Townhomes and Single-Family Attached may have a 24-foot lot width

<sup>4</sup> In determining the impervious surface ratio, common areas may be included



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

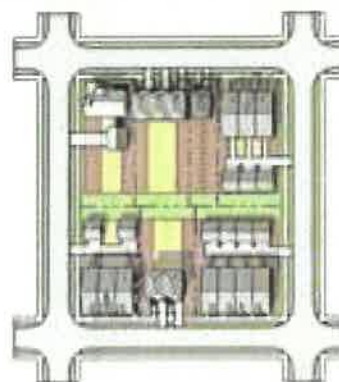
### 4.12.4 Residential R-5 – Mixed Residential District

The purpose of this district is to permit a variety of residential uses and variable densities based on the character of such uses. Areas so designated are deemed suited to such uses. This designation is applied principally to undeveloped areas where units and density flexibility will not adversely impact existing residential subdivisions and where the housing market can be sufficiently broad and flexible to meet the various demands for housing. It also applies to existing multi-family and mixed use residential areas.

| 1. Lot Standards and Buildable Area <sup>1</sup>   |                                      |
|--|--------------------------------------|
| Minimum Lot Size <sup>2</sup>  | 5,000 (sf)                           |
| Minimum Lot Frontage   | 15'                                  |
| Lot width at the building line   | 20'                                  |
| Front Yard (min/max)   | 5/25'                                |
| Side Yard  | 0' or 15' 5'                         |
| Rear Yard  | 15'                                  |
| 2. Use and Intensity   |                                      |
| Permitted Land Use   | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity  | 24 Dwellings/ Acre                   |
| Impervious Surface Ratio <sup>3</sup>  | 0.6                                  |
| Floor Area Ratio   | 4                                    |
| Maximum Structure Height <sup>4</sup>  | 65'                                  |
| 3. Site Specific Design Standards  |                                      |
| Parking  | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes  |                                      |
| Subdivision Standards  | See Article 16                       |
| Building, Lot, and Design Standards  | See Articles 6 & 14                  |
| Mobility Standards   | See Article 10                       |
| 5. District Exceptions and Notes   |                                      |
| <sup>1</sup> See methods for dimensional measurements  |                                      |
| <sup>2</sup> Minimum lot size requirements do not apply to patio homes, duplexes, rowhouses, townhouses, or any other multifamily dwelling units. The minimum lot size figures are expressed in square feet, unless otherwise indicated. |                                      |
| <sup>3</sup> In determining the impervious surface ratio, common areas may be included   |                                      |
| <sup>4</sup> See exceptions to height limitations  |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



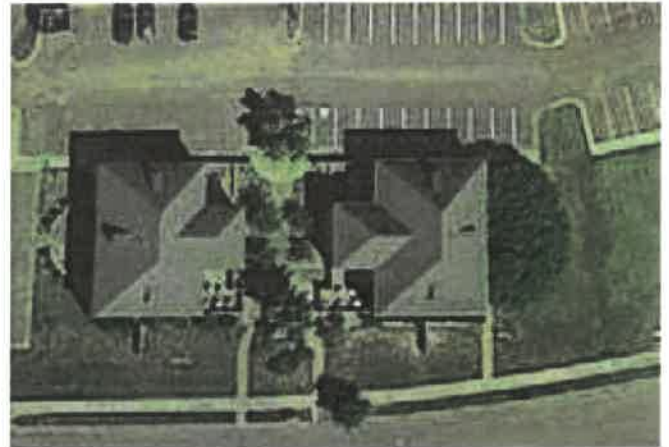
Perspective view of typical development configuration



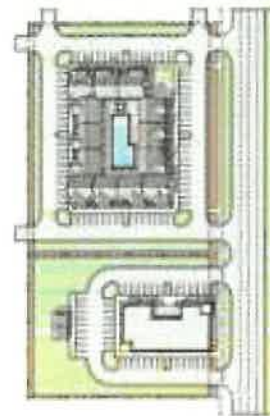
### 4.12.5 Office Commercial

The purpose of this district is to encourage the development of office activities with supportive retail, service, and residential uses, at a relatively high density and intensity. These districts are primarily located on collector and arterial streets.

| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | None                                 |
| Minimum Lot Frontage                                  | None                                 |
| Lot width at the building line                        | None                                 |
| Front Yard (min/max)                                  | None/20'                             |
| Side Yard   | 0' or 5'                             |
| Rear Yard   | 10'                                  |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | Not applicable                       |
| Impervious Surface Ratio                              | None                                 |
| Floor Area Ratio                                      | 15'                                  |
| Maximum Structure Height <sup>2</sup>                 | None                                 |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |



Aerial precedent image



Plan view illustration of typical development configuration

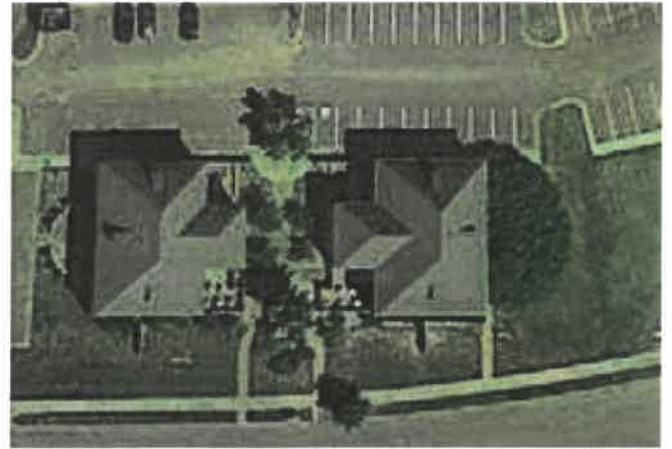


Perspective view of typical development configuration

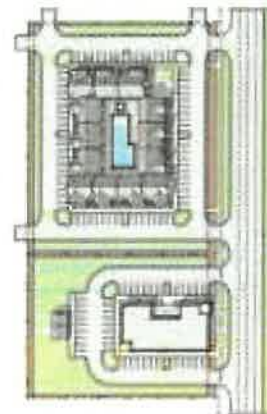
### 4.12.5 Office Commercial

The purpose of this district is to encourage the development of office activities with supportive retail, service, and residential uses, at a relatively high density and intensity. These districts are primarily located on collector and arterial streets.

| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | None                                 |
| Minimum Lot Frontage                                  | None                                 |
| Lot width at the building line                        | None                                 |
| Front Yard (min/max)                                  | None/20'                             |
| Side Yard   | 0' or 5'                             |
| Rear Yard   | 10'                                  |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | Not applicable                       |
| Impervious Surface Ratio                              | None                                 |
| Floor Area Ratio                                      | 15'                                  |
| Maximum Structure Height <sup>2</sup>                 | None                                 |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



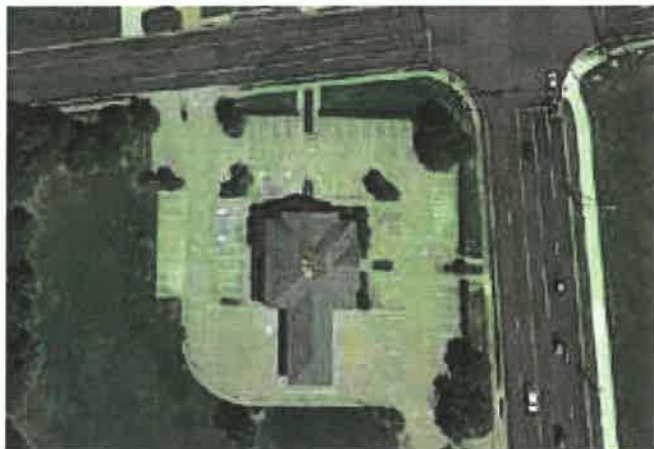
Perspective view of typical development configuration

### 4.12.6 Neighborhood Commercial

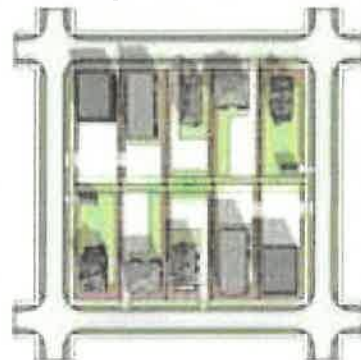
The purpose of this district is to provide for areas where small-scale commercial service and convenience uses may be located to serve principally residential subdivisions and to permit small-scale professional offices in such areas as compatible supplements, as well as neighborhood centers.

| 1. Lot Standards and Buildable Area <sup>1</sup> |                                      |
|--|--------------------------------------|
| Minimum Lot Size                                 | None                                 |
| Minimum Lot Frontage                             | None                                 |
| Lot width at the building line                   | None                                 |
| Front Yard (min/max)                             | 0'/20'                               |
| Side Yard  | 0' or 5'                             |
| Rear Yard  | 10'                                  |
| 2. Use and Intensity                             |                                      |
| Permitted Land Use                               | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                            | Not applicable                       |
| Impervious Surface Ratio                         | 0.7                                  |
| Floor Area Ratio                                 | 3                                    |
| Maximum Structure Height <sup>2</sup>            | 45'                                  |
| 3. Site Specific Design Standards                |                                      |
| Parking  | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes        |                                      |
| Subdivision Standards                            | See Article 16                       |
| Building, Lot, and Design Standards              | See Articles 6 & 14                  |
| Mobility Standards                               | See Article 10                       |
| 5. District Exceptions and Notes                 |                                      |

<sup>1</sup> See methods for dimensional measurements



Aerial precedent image



Plan view illustration of typical development configuration



Perspectical view of typical development configuration

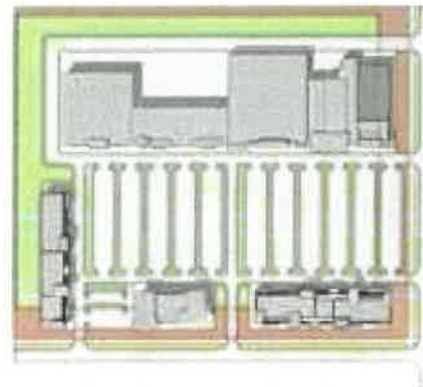
### 4.12.7 General Commercial

The purpose of this district is to provide for areas of large-scale commercial developments. The district is designed to support citywide or regional shopping centers and business complexes than that permitted in the OC, Office Commercial, or NC, Neighborhood Commercial Districts. It permits a wide range of business and commercial uses generally clustered for cumulative attraction and optimum accessibility, but also in strip configurations where so designated by the Comprehensive Plan.

| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | None                                 |
| Minimum Lot Frontage                                  | 50'                                  |
| Lot width at the building line                        | 50'                                  |
| Front Yard (min/max)                                  | 0'/80'                               |
| Side Yard   | 0' or 5'                             |
| Rear Yard   | 20                                   |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | Not applicable                       |
| Impervious Surface Ratio                              | 0.7                                  |
| Floor Area Ratio                                      | 3                                    |
| Maximum Structure Height <sup>2</sup>                 | 45'                                  |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

### 4.12.8 Thoroughfare Commercial

The purpose of this district is to accommodate commercial, light industrial, and warehouse/distribution uses along high capacity roadways typically dependent on a regional market. It is characterized by bright and intensive signage designed to gain the attention of passing motorists. Uses are not compatible to neighborhoods and professional areas. Accordingly, they are limited to areas where traffic volumes are the highest and residential development and professional land uses are the least prevalent.

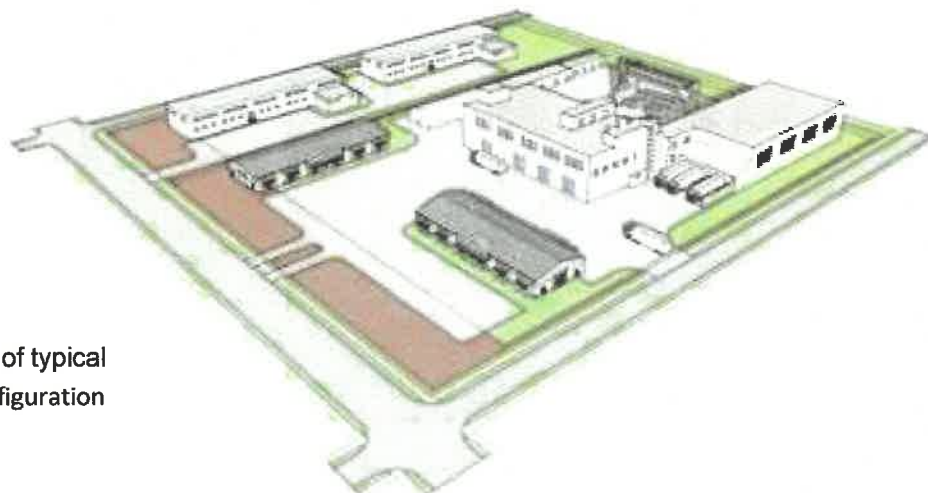
|   |                                      |
|---|--------------------------------------|
| <b>1. Lot Standards and Buildable Area <sup>1</sup></b> |                                      |
| Minimum Lot Size  | None                                 |
| Minimum Lot Frontage                                    | 50'                                  |
| Lot width at the building line                          | 50'                                  |
| Front Yard (min/max)                                    | 0'/80'                               |
| Side Yard   | 0' or 5'                             |
| Rear Yard   | 20'                                  |
| <b>2. Use and Intensity</b>                             |                                      |
| Permitted Land Use                                      | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                   | Not applicable                       |
| Impervious Surface Ratio                                | 0.7                                  |
| Floor Area Ratio  | 3                                    |
| Maximum Structure Height <sup>2</sup>                   | 45'                                  |
| <b>3. Site Specific Design Standards</b>                |                                      |
| Parking   | See Section 6.4 Article 8            |
| <b>4. Required Review and Approval Processes</b>        |                                      |
| Subdivision Standards                                   | See Article 16                       |
| Building, Lot, and Design Standards                     | See Articles 6 & 14                  |
| Mobility Standards                                      | See Article 10                       |
| <b>5. District Exceptions and Notes</b>                 |                                      |
| <sup>1</sup> See methods for dimensional measurements   |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

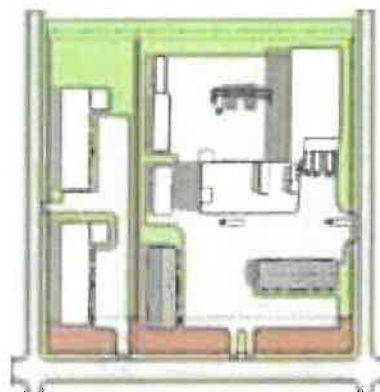
### 4.12.8 Thoroughfare Commercial

The purpose of this district is to accommodate commercial, light industrial, and warehouse/distribution uses along high capacity roadways typically dependent on a regional market. It is characterized by bright and intensive signage designed to gain the attention of passing motorists. Uses are not compatible to neighborhoods and professional areas. Accordingly, they are limited to areas where traffic volumes are the highest and residential development and professional land uses are the least prevalent.

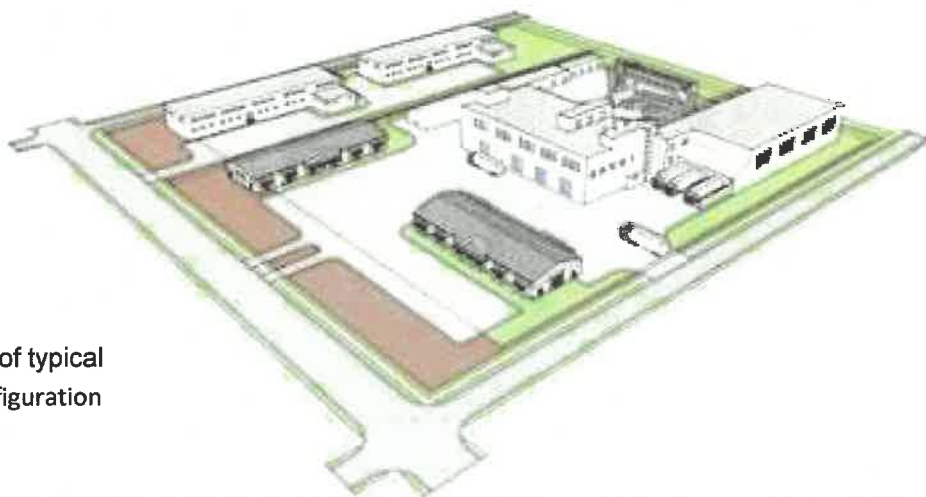
|   |                                      |
|---|--------------------------------------|
| <b>1. Lot Standards and Buildable Area <sup>1</sup></b> |                                      |
| Minimum Lot Size  | None                                 |
| Minimum Lot Frontage                                    | 50'                                  |
| Lot width at the building line                          | 50'                                  |
| Front Yard (min/max)                                    | 0'/80'                               |
| Side Yard   | 0' or 5'                             |
| Rear Yard   | 20'                                  |
| <b>2. Use and Intensity</b>                             |                                      |
| Permitted Land Use                                      | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                   | Not applicable                       |
| Impervious Surface Ratio                                | 0.7                                  |
| Floor Area Ratio  | 3                                    |
| Maximum Structure Height <sup>2</sup>                   | 45'                                  |
| <b>3. Site Specific Design Standards</b>                |                                      |
| Parking   | See Section 6.4 Article 8            |
| <b>4. Required Review and Approval Processes</b>        |                                      |
| Subdivision Standards                                   | See Article 16                       |
| Building, Lot, and Design Standards                     | See Articles 6 & 14                  |
| Mobility Standards                                      | See Article 10                       |
| <b>5. District Exceptions and Notes</b>                 |                                      |
| <sup>1</sup> See methods for dimensional measurements   |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

### 4.12.9 Downtown Mixed-Use 1

The purpose of this district is to promote a downtown commercial core that creates an identity and sense of place for North Augusta. The district allows for a variety of commercial uses that are suited for a downtown environment and create an attraction quality not deterred by parking or access limitations. Often this quality is achieved by the type of business or customer loyalty attributable to the particular business establishment.

#### 1. Lot Standards and Buildable Area <sup>1</sup>

|                                |          |
|--------------------------------|----------|
| Minimum Lot Size               | None     |
| Minimum Lot Frontage           | None     |
| Lot width at the building line | None     |
| Front Yard (min/max)           | 0'/5'    |
| Side Yard                      | 0' or 5' |
| Rear Yard                      | None     |

#### 2. Use and Intensity

|                                       |                                      |
|---------------------------------------|--------------------------------------|
| Permitted Land Use                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                 | Not applicable                       |
| Impervious Surface Ratio              | None                                 |
| Floor Area Ratio                      | 15                                   |
| Maximum Structure Height <sup>2</sup> | 35                                   |

#### 3. Site Specific Design Standards

|         |                               |
|---------|-------------------------------|
| Parking | See Section 6.5.7 & Article 8 |
|---------|-------------------------------|

#### 4. Required Review and Approval Processes

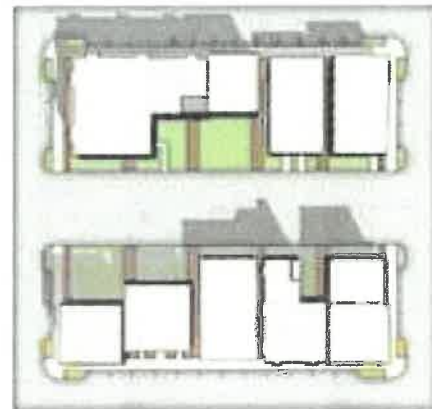
|                                     |                     |
|-------------------------------------|---------------------|
| Subdivision Standards               | See Article 16      |
| Building, Lot, and Design Standards | See Articles 6 & 14 |
| Mobility Standards                  | See Article 10      |

#### 5. District Exceptions and Notes

<sup>1</sup> See methods for dimensional measurements



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Plan view illustration of typical development configuration



Perspective view of typical development configuration

### 4.12.10 Downtown Mixed-Use 2

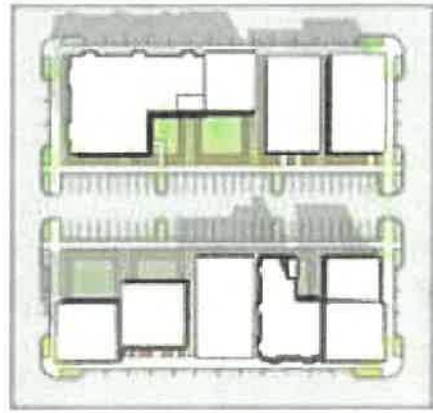
This district is the focal point of economic and pedestrian activity in the Downtown. A high level of community design is required to create and preserve a unique signature gateway into the City, to encourage pedestrian and economic development activity. The district design standards bring pedestrian destinations close to the street, provide an interesting environment, and provide a scale appropriate to the pace of persons traveling by foot.

| 1. Lot Standards and Buildable Area <sup>1</sup> |                                      |
|--|--------------------------------------|
| Minimum Lot Size                                 | None                                 |
| Minimum Lot Frontage                             | None                                 |
| Lot width at the building line                   | None                                 |
| Front Yard (min/max)                             | 0'/20'                               |
| Side Yard  | Either 0' or from 5' to 10'          |
| Rear Yard  | 3'/10' adjacent to parking           |
| 2. Use and Intensity                             |                                      |
| Permitted Land Use                               | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                            | Not applicable                       |
| Impervious Surface Ratio                         | None                                 |
| Floor Area Ratio                                 | 15                                   |
| Maximum Structure Height <sup>2,3</sup>          | 45                                   |
| 3. Site Specific Design Standards                |                                      |
| Parking  | See Section 6.5.7 Article 8          |
| 4. Required Review and Approval Processes        |                                      |
| Subdivision Standards                            | See Article 16                       |
| Building, Lot, and Design Standards              | See Articles 6 & 14                  |
| Mobility Standards                               | See Article 10                       |
| 5. District Exceptions and Notes                 |                                      |

<sup>1</sup> See methods for dimensional measurements  
<sup>2</sup> See exceptions to height limitations  
<sup>3</sup> The maximum height limit for the area bounded by Center Street, Bluff Street, West Street, W. Clifton, Meridian and



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration



### 4.12.11 Corridor Preservation Mixed-Use

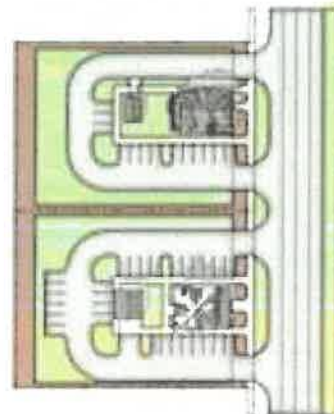
The Corridor Preservation Mixed-Use District is intended to preserve the residential character, appearance, and setting of designated corridors, protect unique design features, local architecture vernacular, protect property values, and the health, safety and welfare of surrounding neighborhoods. It is established to preserve and protect residential neighborhoods while accommodating some transitional commercial uses at an appropriate scale. No lot shall be developed or redeveloped solely for the purpose of providing parking in this district.

| 1. Lot Standards and Buildable Area <sup>1</sup> |   |
|--|---|
| Minimum Lot Size                                 | None  |
| Minimum Lot Frontage                             | 50'   |
| Lot width at the building line                   | 50'   |
| Front Yard (min/max)                             | Average existing setback of the block in which the parcel is located or 25'/50' |
| Side Yard  | 5' or requires buffer if side yard greater                                      |
| Rear Yard  | Required buffer of 20' or 10' from an alley                                     |
| 2. Use and Intensity                             |   |
| Permitted Land Use                               | See Article 5, Table 5.1, Use Matrix  |
| Maximum Building Footprint                       | 3000 sf.  |
| Impervious Surface Ratio                         | 0.7   |
| Floor Area Ratio                                 | 0.5   |
| Minimum/Maximum Structure Height <sup>2</sup>    | 14'/2.5 stories or 32'  |
| 3. Site Specific Design Standards                |   |
| Parking  | See Section 6.4 Article 8   |
| 4. Required Review and Approval Processes        |   |
| Subdivision Standards                            | See Article 16  |
| Building, Lot, and Design Standards              | See Articles 6 & 14   |
| Mobility Standards                               | See Article 10  |
| 5. District Exceptions and Notes                 |   |

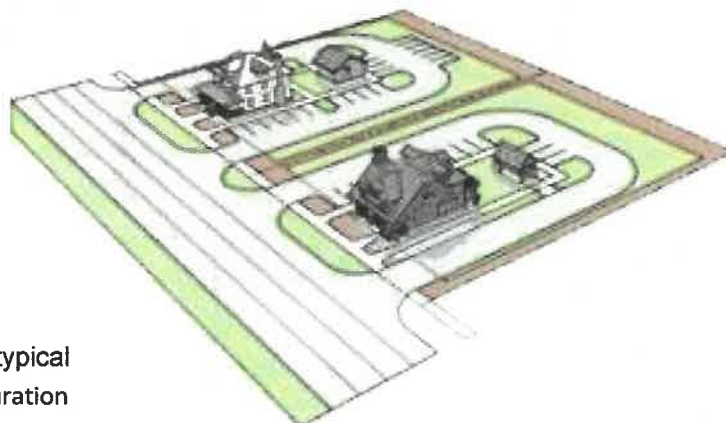
<sup>1</sup> See methods for dimensional measurements



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

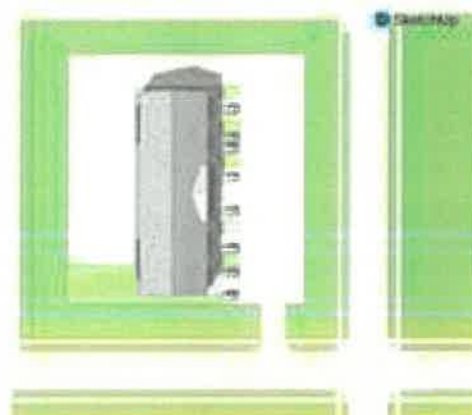
## 4.12.12 Industrial

This district recognizes the importance of industry, reserving areas for the use that might otherwise be developed as non-industrial use. The district is designed to encourage industrial park development and promote landscaping of industrial enterprises, to improve compatibility with residential neighborhoods. The district may contain uses as special exceptions that may be incompatible elsewhere in the City.

| 1. Lot Standards and Buildable Area <sup>1</sup>      |                                      |
|---|--------------------------------------|
| Minimum Lot Size                                      | None                                 |
| Minimum Lot Frontage                                  | 100'                                 |
| Lot width at the building line                        | 50'                                  |
| Front Yard (min/max)                                  | 30'/0'                               |
| Side Yard   | 25'                                  |
| Rear Yard   | 25'                                  |
| 2. Use and Intensity                                  |                                      |
| Permitted Land Use                                    | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                 | Not applicable                       |
| Impervious Surface Ratio                              | 0.9                                  |
| Floor Area Ratio                                      | 2.5                                  |
| Maximum Structure Height <sup>2</sup>                 | 70'                                  |
| 3. Site Specific Design Standards                     |                                      |
| Parking   | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes             |                                      |
| Subdivision Standards                                 | See Article 16                       |
| Building, Lot, and Design Standards                   | See Articles 6 & 14                  |
| Mobility Standards                                    | See Article 10                       |
| 5. District Exceptions and Notes                      |                                      |
| <sup>1</sup> See methods for dimensional measurements |                                      |



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

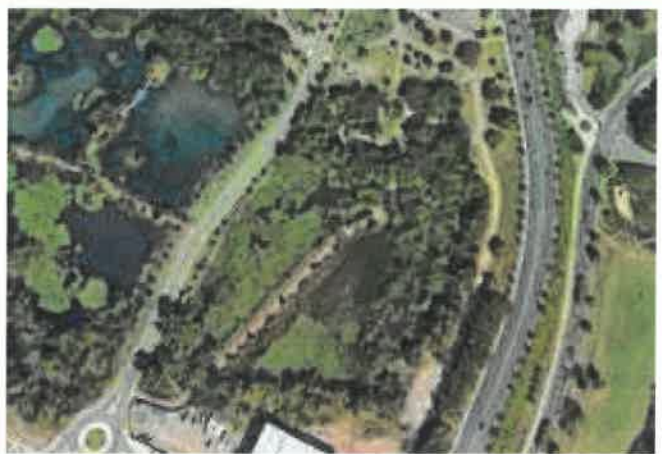
### 4.12.14 Critical Areas

The purpose of this district is to preserve and/or control development within known and identifiable areas of the city that are:

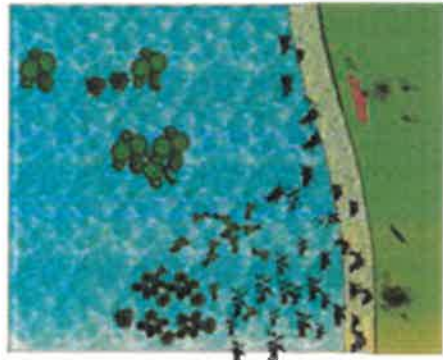
- a. Wetlands, water courses, and lands reserved or maintained for stormwater management;
- b. Lands that serve as natural wildlife refuge areas;
- c. Environmentally sensitive lands and lands possessing great natural or historical resources;
- d. Lands that are reserved for open space or future parks and recreational areas; and
- e. Passive park and recreational lands.

| 1. Lot Standards and Buildable Area <sup>1</sup> |                                      |
|--|--------------------------------------|
| Minimum Lot Size                                 | 14,000 (sf)                          |
| Minimum Lot Frontage                             | 40'                                  |
| Lot width at the building line                   | 70'                                  |
| Front Yard (min/max)                             | 25'/none                             |
| Side Yard  | 8'                                   |
| Rear Yard  | 20'                                  |
| 2. Use and Intensity                             |                                      |
| Permitted Land Use                               | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                            | 3.5 Dwellings Per Acre               |
| Impervious Surface Ratio                         | 0.02                                 |
| Floor Area Ratio                                 | None                                 |
| Maximum Structure Height <sup>2</sup>            | 35'                                  |
| 3. Site Specific Design Standards                |                                      |
| Parking  | See Section 6.4 Article 8            |
| 4. Required Review and Approval Processes        |                                      |
| Subdivision Standards                            | See Article 16                       |
| Building, Lot, and Design Standards              | See Articles 6 & 14                  |
| Mobility Standards                               | See Article 10                       |
| 5. District Exceptions and Notes                 |                                      |

<sup>1</sup> See methods for dimensional measurements



Aerial precedent image



Plan view illustration of typical development configuration



### 4.12.15 Public Use

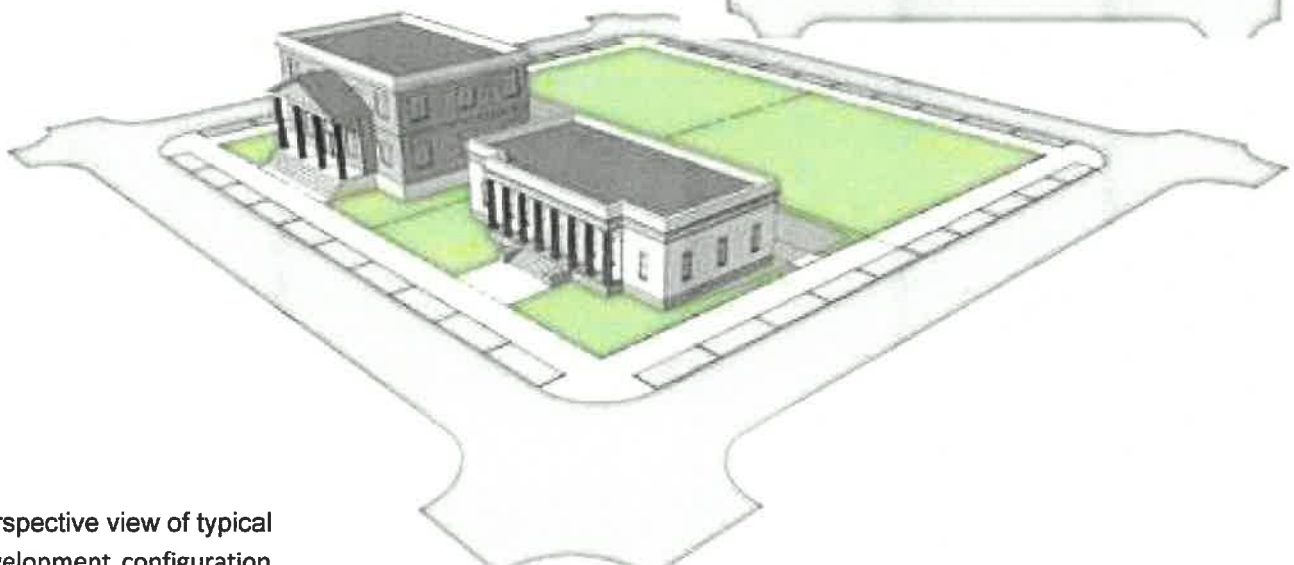
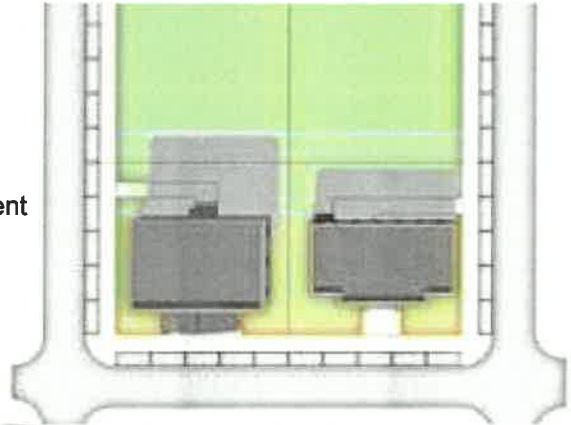
The Public Use District is intended to provide suitable locations for land and structures in the City of North Augusta used exclusively by the City, Aiken County, the State of South Carolina, the United States, or other governmental jurisdictions and their instrumentalities. As such, it shall be used in accordance with such regulations as may be prescribed by the government or instrumentality thereof using the property. This district is also applicable to land owned by public utilities and public service providers of water, sewer, electricity, natural gas, telephone, cable and internet and improved or utilized for the delivery of the public service (power generating or transforming stations, transmission and distribution lines and facilities, switching stations, etc.). Property owned by public utilities and utilized primarily for office, customer service, or retail sales is not appropriate for the Public Use district. If Public Use zoned property is sold to a private individual or individuals, such property shall be rezoned to a classification that is compatible with the surrounding area.

|   |  |
|---|--|
| <b>1. Lot Standards and Buildable Area <sup>1</sup></b> |  |
| Minimum Lot Size  | Uses within the P, Public Use District, are not subject to the dimensional standards |
| Minimum Lot Frontage                                    |  |
| Lot width at the building line                          |  |
| Front Yard (min/max)                                    |  |
| Side Yard   |  |
| Rear Yard   |  |
| <b>2. Use and Intensity</b>                             |  |
| Permitted Land Use                                      | See Article 5, Table 5.1, Use Matrix   |
| Development Intensity                                   | n/a  |
| Impervious Surface Ratio                                | n/a  |
| Floor Area Ratio  | n/a  |
| Maximum Structure Height <sup>2</sup>                   | <b>35- Unlimited</b>   |



Aerial precedent image

Plan view illustration of typical development configuration



Perspective view of typical development configuration

### 4.12.16 Manufactured Home Residential

This district is intended to provide manufactured house or mobile home subdivisions as housing alternatives and to insure quality development of such projects consistent with the city's prevailing residential characteristics. This district is intended to function as a "floating zone" wherein the district is described and set forth in the text below but shall be unmapped. A property owner may petition for the zone to be applied to a particular parcel meeting the minimum zoning district area requirements of this section and according to procedures set forth in this code.

|   |                                      |
|---|--------------------------------------|
| <b>3. Lot Standards and Buildable Area <sup>1</sup></b> |                                      |
| Minimum Lot Size  | 6000 (sf)                            |
| Minimum Lot Frontage                                    | 15'                                  |
| Lot width at the building line                          | 40'                                  |
| Front Yard (min/max)                                    | 5'/25'                               |
| Side Yard   | 5'                                   |
| Rear Yard   | 15'                                  |
| <b>4. Use and Intensity</b>                             |                                      |
| Permitted Land Use                                      | See Article 5, Table 5.1, Use Matrix |
| Residential Intensity                                   | 7 Dwellings/Acre                     |
| Impervious Surface Ratio                                | n/a                                  |
| Floor Area Ratio  | n/a                                  |
| Maximum Structure Height <sup>2</sup>                   | 35'                                  |
| <b>5. Site Specific Design Standards</b>                |                                      |
| Parking   | See Section 6.4 Article 8            |
| <b>6. Required Review and Approval Processes</b>        |                                      |
| Subdivision Standards                                   | See Article 16                       |
| Building, Lot, and Design Standards                     | See Articles 6 & 14                  |
| Mobility Standards                                      | See Article 10                       |
| <b>7. District Exceptions and Notes</b>                 |                                      |

<sup>1</sup> See methods for dimensional measurements



Aerial precedent image



Plan view illustration of typical development configuration



Perspective view of typical development configuration

| <b>Design Factor</b>          | <b>Sidewalk</b>               | <b>Path</b> | <b>Promenade</b> | <b>Greenway</b> |
|-------------------------------|-------------------------------|-------------|------------------|-----------------|
| <b>Right-of-way (ft)</b>      | N/A                           | 5-10        | 30-45            | 20-100          |
| <b>Pavement Width (ft)</b>    | 5-20                          | 0-9         | 18-24            | 10-16           |
| <b>Corner Radius (ft)</b>     | -                             | -           | 15               | 10              |
| <b>Centerline Radius (ft)</b> | -                             | -           | -                | 95              |
| <b>Drainage</b>               | CG, SW-1 side                 | CG, SH, SW  | CG, SW           | CG, SH, SW      |
| <b>Pavement</b>               | Hard Surface                  | -           | Hard Surface     | Hard Surface    |
| <b>Median</b>                 | -                             | -           | Intermittent     | Intermittent    |
| <b>Trees</b>                  | Determined by adjacent street | Yes         | Yes              | Yes             |
| <b>Grade (%)</b>              | Same as street                | 15          | 8                | 15              |

**Notes to Tables 10.2 & 10.4**

a. The meaning of the following terms is as set forth in the SCDOT, Standard Specifications for Highway Construction (Edition of 2000), which document is hereby incorporated by reference: Acceleration and Deceleration Lanes, Base Course, Crossover, Culvert, Median, Parking Lane, Pavement, Pavement Structure, Right of Way, Road, Roadbed, Roadside, Roadside Development, Roadway, Shoulders, Sidewalk, Skew or Skew Angle, Specifications, Street, Structures, Subbase, Subgrade, Substructure, Traffic Lane and Traveled Way.

b. Street types shall be indicated on the preliminary and final subdivision plats.

c. Where a number is stated as a range, the street may include any dimension or number within the range at the discretion of the applicant.

d. The design standards for arterial streets shall conform to the specifications required by the SCDOT.

e. Right of Way – Right of way width depends on the number of travel lanes and parking lanes provided and is expressed in a range. Right of way width shall be a minimum of the lesser of the numbers shown. The dimensions are in feet. The right of way includes the travel lanes, medians, planting strips, sidewalks and bike lanes.

f. Travel Lanes – Refers to the number of travel lanes required. Travel lanes should be a minimum of nine (9) feet in width for lanes and local streets (Traditional Street Design Criteria); ten (10) feet in width for alleys, local streets (Conventional Street Design Criteria) and rural streets; eleven (11) feet in width for subcollectors; and twelve (12) feet in width for all other streets.

g. Parking Lanes – Refers to the minimum number of parking lanes. If parking lanes are required they shall be located on the outside of the travel lanes. If two (2) lanes are required, one (1) parking lane shall be provided on each side of the street. Access, subcollector and collector streets that include a center median may provide a parking lane adjacent to each side of the median provided the design speed of the street is thirty-five (35) miles per hour or less. Parking lanes shall be a minimum of seven (7) feet in width. In accordance with Section 18.8.5, the Board of Zoning Appeals may waive the requirement for parking lanes and the resulting pavement width may be adjusted accordingly.

h. Pavement Width – Refers to the minimum width of the traveled way and any parking lanes, in feet, from curb face to curb face. All streets listed in Tables 10-2, Street Design Criteria, and Table 10.4, Pedestrian Walkway Design Criteria, shall be paved with a hard surface. Gravel or other loose surfacing material is not permitted. Surface material for the various pedestrian walkway types is specified in the table. Where the pavement width, curb, gutter, planting strip and sidewalk exceed the range of applicable right of way specified in Row 1, the design of right of way may be increased or the sidewalk and planting strip may be placed outside the right of way within a dedicated easement. In such cases, building setbacks may be measured from the inside edge of the sidewalk.

i. Corner Radius – Refers to the minimum radius, in feet, of the curb located at the street intersection of a block corner.

j. Centerline Radius – Refers to the radius described by the radius of the circle formed by a curve which is tangent to the centerline of the road.

k. Drainage – “CG” means curb and gutter. “SW” means swale. “SH” means shoulder. Where SH and SW are shown in parentheses they may be permitted by the City Engineer in consultation with the Director under circumstances specified in §10.7.2. All curbed streets shall be built in accordance with SCDOT requirements for vertical curb and gutter construction. Curb and gutters shall be at least eighteen (18) inches in width. Curb and gutter sections for lanes and street medians shall be at least twelve (12) inches.

l. Median – Where median widths are specified, a median of not less than the designated width shall be provided and shall be landscaped at a density equivalent to a subdivision entrance as set forth in the Article 7, Landscaping. Medians shall be a minimum of seventy-five (75) square feet in size. Structures and plantings within the island shall not obscure the visibility of cars entering a cross street for a distance of twenty (20) feet back from the curb face of the cross street, unless a larger setback is required by the City Engineer due to inadequate sight distance as a result of horizontal or vertical curve alignment or other conflicts.

m. Block Length – Refers to the maximum block length permitted, in feet, for each street type. Block length is determined by the distance between the rights of way of intersecting streets. For the purposes of block length, lanes and alleys are not considered intersecting streets.

n. Sidewalks – Refers to the number of sidewalks required. Sidewalks for boulevards, avenues and collector streets shall have a minimum width of six (6) feet and a maximum width of twenty (20) feet. Sidewalks for all other classifications shall have a minimum width of five (5) feet. Sidewalks shall include additional width where required by the Americans with Disabilities Act. See §10.10 for sidewalk design requirements. For main streets, grated tree wells may be used in lieu of planting strips. For parkways, the sidewalks shall take the form of multi-use Greeneways which may meander at a distance of between six (6) to fifty (50) feet from the paved section of the roadway. A minimum six (6) foot paved shoulder shall be included on any street with a design speed of forty-five (45) miles per hour or greater where curb and gutter and sidewalk are not provided.

o. Planting Strip – This row refers to the minimum width of the planting strip, located between the curb and sidewalk parallel with the street.

p. Bike Lanes – On local and subcollector streets, bicyclists should be considered a normal part of the vehicle mix on the street and, accordingly, no separate lanes or markings are required. On collector streets, bicyclists shall be accommodated with five (5) feet wide bike lanes. Applicants may also provide separate routes for bicyclists in lieu of a bike lane. Bike lanes shall connect with segments of the Greeneway system that are within the proposed development. Bike lanes shall conform to the minimum widths specified in Table 10-3, Bikeway Design Width. In accordance with Section 18.8.5, the Board of Zoning Appeals may waive the requirement for bikeways and pavement width may be adjusted accordingly.

q. Subdivision and Street Trees – Street trees shall generally be located within the right of way on both sides of and parallel to the street. Where sidewalks are installed, street trees shall be located between the sidewalk and the curb. Planting strips for street trees shall be a minimum of four (4) feet in width unless specified otherwise. Subdivision trees shall be planted in the front setback behind the right of way line and shall be in addition to other landscaping requirements contained in this Chapter.

r. Grade – Refers to the maximum slope of a street, expressed as the percentage (%) of the change in elevation relative to the horizontal distance.

**Table 9.3. Sign Areas Permitted**

| Zoning District                             | All Signs (lesser of) |                        |   | Wall Signs (lesser of) |                | Freestanding Signs (lesser of) |   |                  |                          |
|---|-----------------------|------------------------|---|------------------------|----------------|--------------------------------|---|------------------|--------------------------|
|   | Max. Area (sf)        | % of Ground Floor Area | Total sign area Per Linear Foot of Frontage | Max. Area (sf)         | % of Wall Area | Max. Area (sf)                 | Freestanding Sign Area per foot of Linear Frontage (sf) | Max. Height (ft) | Front/Side Setbacks (ft) |
| Neighborhood Commercial (NC) and Public (P) | 200                   | 4                      | 3   | 160                    | 10             | 60                             | 0.25  | 10               | 5/10                     |
| Office Commercial (OC)                      | 300                   | 6                      | 3   | 300                    | 10             | 100                            | 0.50  | 12               | 5/10                     |
| General Commercial (GC)                     | 300                   | 10                     | 3   | 300                    | 10             | 100                            | 0.50  | 20               | 5/10                     |
| Thoroughfare Commercial (TC)                | 300                   | 10                     | 3   | 300                    | 10             | 100                            | 1   | 25               | 5/10                     |
| Corridor Preservation Mixed-Use (CPMU)      | 200                   | 6                      | 3   | 160                    | -              | 60                             | 0.50  | 10               | 5/5                      |
| Downtown Mixed-Use 1 and 2 (DT 1 and DT2)   | <del>100</del><br>200 | 10                     | 6   | 100                    | 7              | 20                             | .25   | 8                | 0/0                      |
| Industrial (IND)                            | 300                   | 2                      | 3   | 300                    | -              | 150                            | 0.50  | 20               | 5/10                     |

that are placed at street locations specifically authorized for display by the City Council may be approved.

- b. Private signs shall not be placed on any public property or right-of-way without an approved encroachment permit authorizing such sign or express allowance in this code. The Director may remove signs found to be in violation of this section without prior notification to the property owner. This includes signs held by humans or other devices within the right-of-way.

- 2. **New Street Signs.** As new subdivisions and developments are completed, the city will install street name and traffic control signage based on a uniform sign design adopted by the city. The applicant shall remit payment for the signs at the time of final plat application. The cost for such signs shall be determined by the City of North Augusta.

**96 Allowed Signs**

**9.6.1 Signage Allowed By District.** The following sign types are allowed by zoning district, subject to any additional provisions of this article.

**9.6.2 Maximum Total Signage Allowed by District.** Table 9.3 outlines the total

combined square footage allowed by lot for non-residential districts.

**9.6.3 Additional Requirements by District.**

**1. Special Districts**

- a. For districts listed in Article 4 as "Special Districts" and not otherwise regulated under other sections of this article, the total allowed square footage may be coordinated between uses with a Master Signage plan.
- b. Public District signage shall be determined by the City Council.

**2. Downtown Mixed-Use Districts 1 and 2 (DTMU 1 and DTMU 2) Standards, Generally.**

- a. Maximum total square feet of sign area permitted shall be 200 or three square feet per linear foot of street frontage, whichever is less.
- b. Signs shall not be internally illuminated.
- c. Externally illuminated signs and signs in which the letters or graphics are constructed of neon tubing are permitted.
- d. Illuminated signs shall not be oriented such that the direction and intensity of lighting creates glare or



- h. The pole and base of such signs shall be constructed of decorative black metal or other approved dark color metal. No portion of the shaft shall have a diameter exceeding ten inches.

**9.7 Prohibited Signs**

The following signs are prohibited in any zoning district.

- 1. Any sign that displays intermittent or flashing illumination which changes more than once in any 30 second period.
- 2. Any portable sign, except when used as a temporary sign as permitted in this article.
- 3. Any sign or advertising device attached to or painted on a fence, power or telephone pole, tree, stone, or any other natural object.
- 4. Roof signs.
- 5. Fluttering signs, ribbons, or banner.
- 6. Any illuminated tubing outlining property lines, open sales areas, or parking areas. Illuminated tubing that is attached and integral to an original architectural detail of a building is permitted.
- 7. Any inflatable sign or sign affixed to a tethered balloon, where such sign is visible from the property line.
- 8. Any sign with "day-glow" or highly reflecting coloring, paint, or lighting or any sign that conflicts or may conflict with traffic flow or the visibility of vehicle drivers or pedestrians.
- 9. Any strobe light or very bright light, moveable, or non-moveable that is visible from any adjacent property or right-of-way for the purpose of attracting attention to a location is not permitted.
- 10. Billboards.
- 11. Multi-faced signs.
- 12. Any sign within the right-of-way, except as expressly allowed herein.

- 13. Off-site signs

**9.8 Repair and Replacement**

- a. All signs are to be kept in good repair.
- b. Any dilapidated or neglected sign shall be repaired or removed. If the Building Official deems any sign structurally un-sound, it shall be repaired or removed.

**9.9 Non-Conforming Signs**

- a. With a valid sign permit, a legal, non-conforming sign may be:
  - xiii. Re-faced
  - xiv. Repaired
  - xv. Repainted, or
  - xvi. Removed for repair and remounted.
- b. Nothing in this section grants the right to technological upgrades such as the addition of electronic readerboards to an existing sign. Technological upgrades are the same as erecting a new sign. Changing a light source, such as changing from fluorescent to LED, with no change in appearance of the sign, is not considered a technological upgrade.
- c. Abandoned Non-conforming Signs shall be removed.

not less than ten percent of the gross parking lot area.

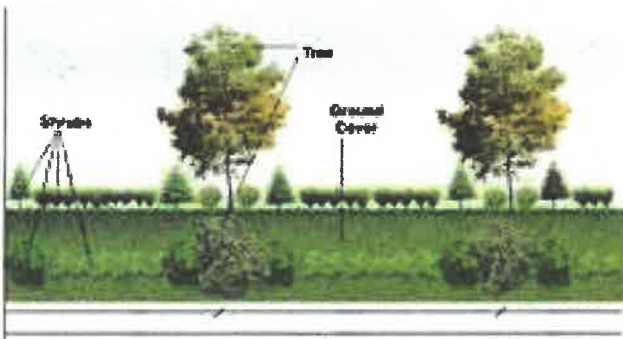
2. The minimum prepared depth of all planting areas and islands shall be in accordance with horticultural best management practices.
3. The Director may approve alternative planting island or median configurations under one of the the following three conditions:
  - a. The number and size of landscaped areas is not reduced and the configuration is needed to respond to unique topographical or site conditions,
  - b. In lieu of curb and gutter or landscape plantings, the applicant incorporates bioretention facilities consistent with a low impact stormwater management design plan,
  - c. The Director determines that the alternative design will provide more effective screening and shading of parking areas.
4. Parking perimeters, medians, islands, and strips shall include a six inch vertical curb unless uncurbed bioretention

areas are included as part of a low-impact stormwater management design approved by the City Engineer. A qualified professional shall certify that the bioretention areas comply with the principles for Low Impact Design.

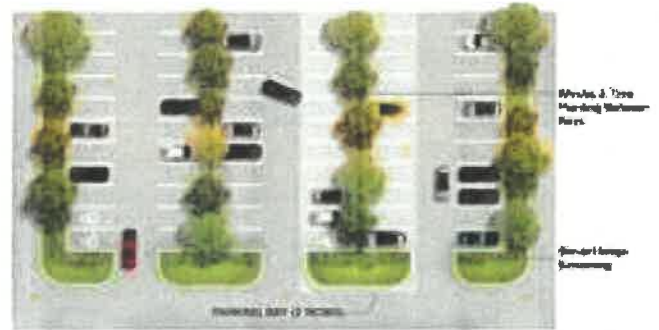
5. All dimension and area calculations for required landscaped areas shall be measured horizontally from the back (inside) of the curb that surrounds the landscape area.

**7.5.2 Perimeter Landscaping.**

1. Perimeter landscaping is required on all sides of a parking lot or paved drive that abuts adjoining property, a public right-of-way (including alleys), and internal access drives.
2. Perimeter landscaping is required between the parking area and the principal building. A sidewalk not less than five feet in width may be provided in lieu of perimeter landscaping between the parking area and the principal building.
3. The minimum height, width, and composition of perimeter parking area landscaping shall conform to the requirements of Table 7.5.



**Illustration 7.13. Median Planting**



**Illustration 7.14. Landscaped Median**

**Table 7.6. Street Tree Landscaping Requirements**

| Land Use Class (Table 7.3) | Minimum Width of Planting Area     | Large Trees Required per length of Frontage in feet | Small Trees Required per length of Frontage in feet |
|----------------------------|------------------------------------|---|---|
| R-14, R-10, R-7            | See Section 7.6a<br>See Table 10.2 | 1 plus 1 per 40                                     | 1 plus 1 per 20                                     |
| R-5, R-MH, PD              |                                    | 1 plus 1 per 50                                     | 1 plus 1 per 25                                     |
| OC, NC, GC, TC, P          |                                    | 1 plus 1 per 40                                     | 1 plus 1 per 20                                     |
| DTMU 1 & 2, CP             |                                    | 1 plus 1 per 60                                     | 1 plus 1 per 30                                     |
| I, CR                      |                                    | 1 plus 1 per 40                                     | —   |

# ARTICLE 14 - DESIGN AND PERFORMANCE STANDARDS

## 141 design and Performance Standards generally

The following design and performance standards are set forth to protect and enhance the built environment of North Augusta. The standards are divided into two major sections.

1. The design standards set out the physical design criteria of sites and buildings.
2. The performance standards section sets out criteria for impact levels of certain elements of development.

## 142 lighting and glare

**14.2.1 Applicability.** The provisions of this section shall apply to all exterior artificial light sources not subject to specific regulations set forth in this Article.

**14.2.2 Exemptions.** The following are exempted from the requirements of this section.

1. Lighting fixtures and standards required by federal, state, county, or city agencies, including streetlights within public rights-of-way.
2. Outdoor lighting fixtures used or required by law enforcement, fire and emergency services, transportation, or similar governmental agencies to perform emergency or construction repair work, or to perform nighttime road construction on major thoroughfares.
3. Seasonal decorative lighting displays.

**14.2.3 Lighting Standards.** Exterior lighting of buildings, lots, developments, signs, or other features, and for any use, including, but not limited to, residential, commercial, and industrial uses, shall meet the following requirements:

1. All exterior light fixtures shall be fully shielded and installed in such a way that no light spills over onto adjacent lots or rights-of-way.

2. All lighting shall be directed on-site or onto adjacent walkways and shall be shielded from interfering with corridor traffic and direct off-site viewing.
3. Because of their unique requirement for nighttime visibility and their limited hours of operation, stadiums, ball fields, playing fields and tennis courts are exempted from the general standards of this section. However, lighting for these outdoor recreational uses shall be shielded to minimize light and glare trespass onto adjacent and nearby lots.
4. No flashing lights not otherwise exempted shall be permitted.
5. No installation or erection of any lighting that may be confused with warning signals, emergency signals, or traffic signals shall be permitted.

### 14.2.4 Glare Standards.

1. There shall be no direct or sky reflected glare, whether from floodlights, high temperature processing, combustion, welding or otherwise, that is visible in any residential or mixed-use district.
2. Any artificial light source that creates glare observable within the normal range of vision from any public walk or thoroughfare under clear weather conditions is considered a safety hazard and is prohibited.
3. Any artificial light source that creates glare observable within the normal range of vision, under clear weather conditions, from any lot other than the lot where the light source is located is considered a nuisance and is prohibited.

### **14.3 Fixture Mounting and Allowable Height**

Light fixtures within nonresidential districts shall be wall-mounted or mounted on a concrete, fiberglass or painted metal pole. Mounting heights shall not exceed twenty-five (25) feet above finished grade or the top of the curb or edge of the roadway where no curb exists.

### **14.4 Outdoor Sports Facilities Lighting**

Lighting at publicly owned and privately owned outdoor sports facilities shall be shielded to reduce glare, safety hazards, light trespass and light pollution, and shall provide levels of illuminance consistent with nationally recognized standards such as the Illuminating Engineering

society of North America (IESNA), and shall be operated on a schedule that coincides with scheduled events. Lighting shall be extinguished within one (1) hour following the end of the event.

### **14.5 Lighting Curfew**

Lighting levels shall be reduced by fifty percent (50%) of full operational levels within one (1) hour after the close of business or shopping center by turning off and/or dimming lights. Businesses which are open twenty-four (24) hours per day shall not be subject to this provision. Security lighting no greater than two (2) foot candles may be maintained on the property whether or not the structures on the property are occupied.

## **14.3 Public Nuisances**

### **14.3.1 Odor**

1. A. The emission of odorous gasses or other matter in such quantities as to be offensive at the property line is prohibited except for the following situations:
  - a. Odors common to permitted agricultural operations.
  - b. Odors associated with seasonal applications of fertilizer regardless of their location.
  - c. Odors associated with road construction and maintenance, roofing, and similar transient, non-repetitive activities.
2. Any process that involves the creation or emission of offensive odor shall be provided with both a primary and a secondary safeguard system so that control may be maintained in the event of failure of the primary safeguard system.

**14.3.2 Heat, Cold, Dampness, or Movement of Air.** Any activity that could produce any adverse effect on the temperature, motion, or humidity of the atmosphere beyond the property line is prohibited.

**14.3.3 Vibration.** No use, operation, or activity shall create earthborn vibrations that are transmitted through the ground and discernible beyond the property line, except for vibrations associated with road construction and permitted site development activities.

**14.3.4 Smoke, Dust, and Dirt.**

1. The emission of visible smoke, dust, dirt, or fly ash particulate matter from industrial activities from any pipe, vents, or other openings into the air shall comply with the regulations of the South Carolina Department Health and Environmental Control (SCDHEC).
2. Dust generated by sources other than those listed in subsection "a" above shall be kept to a minimum by appropriate screening, design, landscaping, paving, oiling with biodegradable oils, sprinkling, or other acceptable means.
3. Any source that creates dust impacting adjacent properties or rights-of-way is prohibited with the following exceptions:
  - a. Dust associated with permitted agricultural operations, and

**14.3.5** Dust associated with road construction and permitted site development activities following established best practices.

**14.3.6 Fumes, Vapors, and Gasses.** There shall be no emission of any fumes, vapors, or gasses, of a noxious, toxic, or corrosive nature that can cause any damage or irritation to human health, animals, vegetation, or to any form of property.

**14.3.7 Fire and Explosive Hazards.** All activities and storage of flammable and explosive materials shall be provided with adequate safety devices against the hazards of fire and explosion including adequate firefighting and fire suppression equipment.

**14.3.8 Radioactive Emissions.** There shall be no radiation emission from any source measurable at the property line.

**14.3.9 Debris.** Debris including, but not limited to litter, mud, grass, and gravel, shall not be allowed to blow or be carried onto adjacent properties or public roadways during construction.

## **14.4 Trash Receptacles and Dumpsters**

**14.4.1** All trash receptacles shall be located in the side or rear yard. Trash receptacles shall be

***DEPARTMENT OF  
PLANNING AND DEVELOPMENT***

***TOMMY PARADISE  
DIRECTOR***

***MONTHLY REPORT  
FOR  
August 2024***

**City of North Augusta**  
**Department of Planning and Development**  
**Monthly Report for August 2024**

| Item  | This Month |          | Year To Date |          | Same Month, Last Year |          | Last Year To Date |          |
|---|------------|----------|--------------|----------|-----------------------|----------|-------------------|----------|
|   | Received   | Approved | Received     | Approved | Received              | Approved | Received          | Approved |
| <b>Development Applications</b>                 |            |          |              |          |                       |          |                   |          |
| <b>Subdivisions</b>                             |            |          |              |          |                       |          |                   |          |
| Major Subdivision Plans (PP)                    | 0          | 0        | 3            | 3        | 0                     | 1        | 2                 | 1        |
| Planned Acres                                   | 0          | 0.00     | 24.42        | 81.58    | 0.00                  | 23.50    | 52.48             | 23.50    |
| Planned Lots                                    | 0          | 0        | 66           | 50       | 0                     | 90       | 108               | 90       |
| Minor Subdivision Plans (MP)                    | 1          | 1        | 15           | 13       | 1                     | 0        | 7                 | 6        |
| Platted New Lots                                | 1          | 1        | 14           | 11       | 1                     | 0        | 21                | 20       |
| Major Subdivision Plans (FP)                    | 0          | 0        | 2            | 2        | 0                     | 0        | 6                 | 2        |
| Platted Acres                                   | 0          | 0.00     | 95.38        | 95.38    | 0.00                  | 0.00     | 130.20            | 27.52    |
| Platted Lots                                    | 0          | 0        | 180          | 180      | 0                     | 0        | 326               | 114      |
| <b>Site Plans</b>                               |            |          |              |          |                       |          |                   |          |
| Minor Site Plans (MSP)                          | 1          | 0        | 13           | 6        | 1                     | 1        | 10                | 3        |
| Major Site Plans (SP)                           | 0          | 0        | 1            | 5        | 1                     | 0        | 1                 | 1        |
| Site Plan Modification (SPM)                    | 0          | 0        | 1            | 1        | 0                     | 0        | 0                 | 0        |
| Total Site Plan Acres                           | 0.71       | 0.00     | 79.96        | 34.84    | 17.09                 | 5.50     | 58.12             | 19.71    |
| <b>Planned Developments</b>                     |            |          |              |          |                       |          |                   |          |
| PD Gen Dev Plans/Major Mod. (PD)                | 0          | 0        | 1            | 0        | 0                     | 0        | 3                 | 1        |
| PD Acres  | 0          | 0        | 467          | 0        | 0                     | 0        | 245.7             | 174.5    |
| Development Plan Modification (PDM)             | 1          | 0        | 2            | 1        | 0                     | 0        | 0                 | 0        |
| <b>Annexations</b>                              |            |          |              |          |                       |          |                   |          |
| Annexation Agreements Received                  | 0          | 0        | 0            | 0        | 1                     | 0        | 5                 | 4        |
| Annexation Cases (ANX) Approved by City Council | 0          | 0        | 3            | 2        | 1                     | 0        | 5                 | 4        |
| Parcels   | 0          | 0        | 0            | 1        | 0                     | 0        | 4                 | 4        |
| Acres   | 0          | 0        | 8            | 4        | 2                     | 0        | 6                 | 4        |
| Acres   | 0          | 0        | 531          | 3.64     | 27.49                 | 0        | 28                | 1        |







City of North Augusta  
Department of Planning and Development

North Augusta Planning Department

**August 2024 Staff Approvals**

**Residential Site Plans**

| Application Number | Tax Parcel Number | Applicant         | Legal Description        | Zone | Approval Date | Structure                                    |
|--------------------|-------------------|-------------------|--------------------------|------|---------------|--|
| B24-0358           | 006 09 01 013     | Aiken Mafia LLC   | 793 Big Pine Road        | R-10 | 8/2/2024      | New Residential Construction                 |
| B24-0359           | 005 16 04 001     | DR Horton Inc     | 150 Expedition Dr        | R-5  | 8/2/2024      | New Residential Construction                 |
| B24-0360           | 005 16 06 002     | DR Horton Inc     | 149 Expedition Dr        | R-5  | 8/2/2024      | New Residential Construction                 |
| B24-0365           | 007 13 13 008     | Sabal Designs LTD | 65 Crystal Lake Dr       | PD   | 8/12/2024     | Screen Porch Addition/Enclose Existing Porch |
| B24-0366           | 127 00 07 026     | Keystone Homes    | 4354 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0367           | 127 00 07 027     | Keystone Homes    | 4362 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0368           | 127 00 07 028     | Keystone Homes    | 4372 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0369           | 127 00 07 029     | Keystone Homes    | 4382 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0370           | 127 00 07 030     | Keystone Homes    | 4390 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0371           | 127 00 07 031     | Keystone Homes    | 4416 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0372           | 127 00 07 032     | Butler Pond LLC   | 4426 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0373           | 127 00 07 033     | Keystone Homes    | 4434 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |
| B24-0374           | 127 00 07 034     | Keystone Homes    | 4442 Beautiful Pond Park | PD   | 8/12/2024     | New Residential Construction                 |

City of North Augusta  
Department of Planning and Development

|           |               |                      |                          |      |           |                              |
|-----------|---------------|----------------------|--------------------------|------|-----------|------------------------------|
| B24-0375  | 127 00 07 035 | Keystone Homes       | 4452 Beautiful Pond Park | PD   | 8/12/2024 | New Residential Construction |
| B24-0376  | 014 00 02 177 | John & Loren Avrett  | 564 Rivernorth Dr        | PD   | 8/12/2024 | 20x24 Attached Deck          |
| B24-0377  | 006 10 07 010 | Johanna Hadden       | 1841 Bolin Rd            | R-14 | 8/12/2024 | Metal Carport 20x20          |
| B24-0383  | 006 07 07 069 | ParkRidge Builders   | 1969 Green Forest Dr     | R-7  | 8/12/2024 | New Residential Construction |
| B24-0390  | 006 11 06 005 | Ivey Residential     | 5042 Anna Creek Way      | R-7  | 8/19/2024 | New Residential Construction |
| SP24-0005 | 005 12 19 007 | Pete Alewine Pool Co | 6050 Whitewater Dr       | R-5  | 8/19/2024 | Swimming Pool                |
| B24-0394  | 010 14 17 002 | Plandwell Vertical   | 3199 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| B24-0395  | 010 14 17 003 | Plandwell Vertical   | 3205 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| B24-0396  | 010 15 10 017 | Plandwell Vertical   | 3018 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| B24-0397  | 010 15 10 018 | Plandwell Vertical   | 3028 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| B24-0398  | 010 15 09 045 | Plandwell Vertical   | 3185 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| B24-0399  | 010 14 17 001 | Plandwell Vertical   | 3191 Venetian Dr         | PD   | 8/22/2024 | New Residential Construction |
| SP24-0006 | 007 13 43 012 | Pete Alewine Pool Co | 142 Lafayette St         | PD   | 8/26/2024 | Swimming Pool                |
| B24-0404  | 010 15 10 019 | Plandwell Vertical   | 3038 Venetian Dr         | PD   | 8/26/2024 | New Residential Construction |
| B24-0405  | 010 15 10 020 | Plandwell Vertical   | 3048 Venetian Dr         | PD   | 8/26/2024 | New Residential Construction |
| B24-0407  | 010 15 10 022 | Plandwell Vertical   | 3070 Venetian Dr         | PD   | 8/26/2024 | New Residential Construction |
| B24-0408  | 010 15 10 023 | Plandwell Vertical   | 3080 Venetian Dr         | PD   | 8/26/2024 | New Residential Construction |
| B24-0409  | 010 15 10 024 | Plandwell Vertical   | 3090 Venetian Dr         | PD   | 8/26/2024 | New Residential Construction |
| B24-0413  | 006 15 06 005 | ParkRidge Builders   | 21 Jones St              | R-7  | 8/26/2024 | New Residential Construction |

City of North Augusta  
Department of Planning and Development

|           |               |                        |                     |      |           |                              |
|-----------|---------------|------------------------|---------------------|------|-----------|------------------------------|
| B24-0415  | 006 15 06 032 | ParkRidge Builders     | 1747 Plank Rd       | R-7  | 8/26/2024 | New Residential Construction |
| B24-0416  | 006 15 06 004 | ParkRidge Builders     | 37 Jones St         | R-7  | 8/26/2024 | New Residential Construction |
| B24-0400  | 010 15 10 025 | Plandwell Vertical     | 3102 Venetian Dr    | PD   | 8/26/2024 | New Residential Construction |
| B24-0401  | 010 15 10 026 | Plandwell Vertical     | 3112 Venetian Dr    | PD   | 8/26/2024 | New Residential Construction |
| B24-0403  | 010 15 10 027 | Plandwell Vertical     | 3126 Venetian Dr    | PD   | 8/26/2024 | New Residential Construction |
| B24-0406  | 010 15 10 021 | Plandwell Vertical     | 3056 Venetian Dr    | PD   | 8/26/2024 | New Residential Construction |
| B24-0414  | 006 15 06 007 | ParkRidge Builders     | 1717 Plank Rd       | R-7  | 8/26/2024 | New Residential Construction |
| B24-0274  | 007 12 10 012 | SOS Construction LLC   | 911 Yardley Dr      | R-10 | 8/27/2024 | New Residential Construction |
| B24-0275  | 007 12 10 050 | SOS Construction LLC   | 909 Yardley Dr      | R-10 | 8/27/2024 | New Residential Construction |
| B24-0422  | 005 09 04 016 | Kristin & Suzanne Ross | 407 Cooper Mill Rd  | R-14 | 8/29/2024 | Addition to back of House    |
| B24-0425  | 006 11 06 008 | Ivey Residential       | 5058 Anna Creek Way | R-7  | 8/29/2024 | New Residential Construction |
| B24-0426  | TMP1003       | Ivey Residential       | 647 Caroline Ct     | R-7  | 8/30/2024 | New Residential Construction |
| B24-0427  | TMP1002       | Ivey Residential       | 651 Caroline Ct     | R-7  | 8/30/2024 | New Residential Construction |
| B24-0428  | TMP1001       | Ivey Residential       | 655 Caroline Ct     | R-7  | 8/30/2024 | New Residential Construction |
| B24-0429  | TMP1000       | Ivey Residential       | 657 Caroline Ct     | R-7  | 8/30/2024 | New Residential Construction |
| SP24-0007 | 005 09 04 016 | Kristin & Suzanne Ross | 407 Cooper Mill Rd  | R-14 | 8/29/2024 | Swimming Pool                |
|           |               |                        |                     |      |           |                              |
|           |               |                        |                     |      |           |                              |
|           |               |                        |                     |      |           |                              |

City of North Augusta  
Department of Planning and Development

**Sign Permits**

| Application Number | Tax Parcel Number | Applicant            | Legal Description       | Zone  | Approval Date | Use |
|--------------------|-------------------|----------------------|-------------------------|-------|---------------|-----|
| SN24-020           | 007 14 10 005     | AAA Sign Co          | Melty                   | DG    | 8/1/2024      |     |
| SN24-021           | 007 14 10 005     | AAA Sign Co          | Fleet Feet              | DG    | 8/1/2024      |     |
| SN24-022           | 007 14 10 005     | AAA Sign Co          | Bowl Boss               | DG    | 8/1/2024      |     |
| SN24-023           | 010 19 01 001     | K&D Signs LLC        | Eagle Gas Station       | GC/HC | 8/2/2024      |     |
| SN24-024           | 010 14 12 006     | All AmericanSign LLC | Wingstop                | PD\HC | 8/9/2024      |     |
| SN24-025           | 006 17 05 002     | John C Smith         | Nimmons Malchow Johnson | NC/HC | 8/15/2024     |     |
| SN24-026           | 006 20 01 008     | Mixon Signs          | KLW Cut N Styles        | GC\HC | 8/21/2024     |     |
| SN24-027           | 010 15 09 046     | Plandwell Homes      | Village Square          | PD    | 8/26/2024     |     |

**Certificate of Zoning Compliance Approvals**

| Application Number | Tax Parcel Number | Applicant       | Legal Description           | Zone | Approval Date | Use |
|--------------------|-------------------|-----------------|-----------------------------|------|---------------|-----|
| CZC24-073          | 007 07 08 001     | Velinda Reed    | Perry & CO                  | OC   | 8/6/2024      |     |
| CZC24-074          | 007 10 21 004     | Sonya Mays      | Rusty Pearl                 | D    | 8/12/2024     |     |
| CZC24-075          | 006 17 05 003     | Janna Malchow   | Nimmons Malchow Johnson     | NC   | 8/14/2024     |     |
| CZC24-077          | 006 17 05 002     | Stacie Adkins   | Realtors of Greater Augusta | NC   | 8/23/2024     |     |
| CZC24-079          | 007 11 05 048     | Heather Brauner | Centerwell Senior Primary   | GC   | 8/28/2024     |     |
| CZC24-078          | 005 16 02 003     | RF Mobile LLC   | Dirty Dough Augusta         | P    | 8/29/2024     |     |
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***DEPARTMENT OF  
PLANNING AND DEVELOPMENT***

***TOMMY PARADISE  
DIRECTOR***

***MONTHLY REPORT  
FOR  
September 2024***

**City of North Augusta**  
**Department of Planning and Development**  
**Monthly Report for September 2024**

| Item  | This Month |          | Year To Date |          | Same Month, Last Year |          | Last Year To Date |          |
|---|------------|----------|--------------|----------|-----------------------|----------|-------------------|----------|
|   | Received   | Approved | Received     | Approved | Received              | Approved | Received          | Approved |
| <b>Development Applications</b>                 |            |          |              |          |                       |          |                   |          |
| <b>Subdivisions</b>                             |            |          |              |          |                       |          |                   |          |
| Major Subdivision Plans (PP)                    | 1          | 0        | 4            | 3        | 1                     | 0        | 2                 | 1        |
| Planned Acres                                   | 98.03      | 0.00     | 122.45       | 81.58    | 219.50                | 0.00     | 271.98            | 23.50    |
| Planned Lots                                    | 110        | 0        | 176          | 50       | 554                   | 0        | 108               | 90       |
| Minor Subdivision Plans (MP)                    | 5          | 4        | 15           | 13       | 2                     | 1        | 9                 | 7        |
| Platted New Lots                                | 4          | 4        | 18           | 15       | 2                     | 1        | 23                | 21       |
| Major Subdivision Plans (FP)                    | 0          | 0        | 2            | 2        | 0                     | 1        | 6                 | 3        |
| Platted Acres                                   | 0          | 0.00     | 95.38        | 95.38    | 0.00                  | 27.54    | 130.20            | 55.06    |
| Platted Lots                                    | 0          | 0        | 180          | 180      | 0                     | 50       | 326               | 164      |
| <b>Site Plans</b>                               |            |          |              |          |                       |          |                   |          |
| Minor Site Plans (MSP)                          | 0          | 1        | 13           | 7        | 1                     | 1        | 12                | 5        |
| Major Site Plans (SP)                           | 0          | 0        | 1            | 5        | 1                     | 0        | 2                 | 1        |
| Site Plan Modification (SPM)                    | 0          | 0        | 1            | 1        | 0                     | 0        | 0                 | 0        |
| Total Site Plan Acres                           | 0          | 1.13     | 79.96        | 35.97    | 16.71                 | 3.18     | 74.83             | 22.89    |
| <b>Planned Developments</b>                     |            |          |              |          |                       |          |                   |          |
| PD Gen Dev Plans/Major Mod. (PD)                | 0          | 0        | 1            | 0        | 0                     | 0        | 3                 | 1        |
| PD Acres  | 0          | 0        | 467          | 0        | 0                     | 0        | 245.7             | 174.5    |
| Development Plan Modification (PDM)             | 0          | 0        | 2            | 1        | 0                     | 0        | 0                 | 0        |
| <b>Annexations</b>                              |            |          |              |          |                       |          |                   |          |
| Annexation Agreements Received                  | 0          | 0        | 0            | 0        | 0                     | 0        | 5                 | 4        |
| Annexation Cases (ANX) Approved by City Council | 0          | 0        | 3            | 2        | 0                     | 0        | 5                 | 4        |
| Parcels   | 0          | 0        | 0            | 1        | 0                     | 0        | 4                 | 4        |
| Acres   | 0          | 0        | 8            | 4        | 0                     | 0        | 6                 | 4        |
| Acres   | 0          | 0        | 531          | 3.64     | 0                     | 0        | 28                | 1        |



**City of North Augusta**  
**Department of Planning and Development**  
**Monthly Report for September 2024**

| Item                     | This Month        | Year To Date       | Same Month Last Year | Last Year To Date  |
|--------------------------|-------------------|--------------------|----------------------|--------------------|
| <b>Fees Collected</b>    |                   |                    |                      |                    |
| Development Applications | \$3,065.57        | \$29,346.92        | \$4,846.77           | \$33,121.38        |
| Appeals                  | \$0.00            | \$3,546.62         | \$250.00             | \$2,213.74         |
| Maps/Publications        | \$0.00            | \$0.00             | \$0.00               | \$0.00             |
| Special Review Fees      | \$0.00            | \$0.00             | \$0.00               | \$0.00             |
| <b>Total Fees</b>        | <b>\$3,065.57</b> | <b>\$32,893.54</b> | <b>\$5,096.77</b>    | <b>\$35,335.12</b> |

\* Not yet recorded

| Item   | This Month                    |             | Year To Date                  |             | Same Month, Last Year         |             | Last Year To Date             |             |
|--|-------------------------------|-------------|-------------------------------|-------------|-------------------------------|-------------|-------------------------------|-------------|
|  | Case Received or Investigated | Case Closed | Case Received or Investigated | Case Closed | Case Received or Investigated | Case Closed | Case Received or Investigated | Case Closed |
| <b>Code Enforcement</b>                        |                               |             |                               |             |                               |             |                               |             |
| Property Maintenance                           | 18                            | 16          | 154                           | 98          | 14                            | 17          | 123                           | 112         |
| Property Leins/Contractor Mitigation           | 0                             | 3           | 0                             | 11          | 1                             | 1           | 5                             | 5           |
| Swimming Pools                                 | 1                             | 0           | 3                             | 2           | 0                             | 0           | 5                             | 5           |
| Recreational Vehicles/RV/Boat/Utility Trailers | 3                             | 1           | 22                            | 15          | 1                             | 3           | 11                            | 20          |
| Illegal Vehicles                               | 2                             | 3           | 55                            | 41          | 5                             | 4           | 33                            | 37          |
| Commercial Vehicles/Equipment                  | 0                             | 0           | 3                             | 3           | 0                             | 0           | 5                             | 5           |
| Temporary Signs                                | 71                            | 71          | 701                           | 701         | 71                            | 71          | 889                           | 889         |
| Landscape Inspections                          | 8                             | 8           | 157                           | 157         | 11                            | 11          | 178                           | 178         |
| Structure Demolitions                          | 0                             | 0           | 0                             | 1           | 0                             | 0           | 0                             | 0           |
| Citation/Summons Issued                        | 0                             | 0           | 0                             | 0           | 1                             | 0           | 4                             | 3           |



City of North Augusta  
Department of Planning and Development

**North Augusta Planning Department**

**September 2024 Staff Approvals**

**Residential Site Plans**

| Application Number | Tax Parcel Number | Applicant              | Legal Description   | Zone | Approval Date | Structure               |
|--------------------|-------------------|------------------------|---------------------|------|---------------|-------------------------|
| B24-0432           | 001 12 11 013     | Randy Cook             | 742 Otto Run        | PD   | 9/4/2024      | Storage Building 10x12  |
| B24-0434           | 007 05 15 004     | Elbert Barber          | 801 Alta Vista Ave  | R-7  | 9/4/2024      | Storage Building 20x20  |
| B24-0444           | 002 16 06 018     | Gilchrist Construction | 1104 Campbellton Dr | R-14 | 9/12/2024     | Room Addition 900 sq ft |
| B24-0442           | 00705 01 009      | Ross Beavers           | 804 Stanton Dr      | R-14 | 9/12/2024     | Detached Garage Pre-Fab |
| B24-0450           | 006 11 07 006     | Ivey Residential SC    | 5051 Anna Creek Way | R-7  | 9/16/2024     | New Residential Constr  |
| B24-0452           | 006 11 07 007     | Ivey Residential SC    | 5057 Anna Creek Way | R-7  | 9/16/2024     | New Residential Constr  |
| B24-0454           | 006 11 07 008     | Ivey Residential SC    | 5065 Anna Creek Way | R-7  | 9/16/2024     | New Residential Constr  |
| SP24-0008          | 006 07 05 009     | Hefner Pools           | 2009 Pisgah Rd      | R-14 | 9/16/2024     | Swimming Pool           |
| SP24-0009          | 014 00 02 164     | Hefner Pools           | 660 RiverNorth Dr   | PD   | 9/16/2024     | Swimming Pool           |
| B24-0456           | 006 11 03 023     | Carolina Carports Inc. | 209 Cadada Ct       | R-7  | 9/17/2024     | Storage Building        |
| B24-0437           | 007 13 43 008     | GrayBeal LLC           | 158 Lafayette St    | PD   | 9/5/2024      | New Residential Constr  |
| B24-0438           | 003 16 12 003     | GrayBeal LLC           | 709 Railroad Ave    | PD   | 9/12/2024     | New Residential Constr  |
| B24-0458           | 014 00 02 185     | Riverside Partners     | 202 Rivernorth Dr   | PD   | 9/16/2024     | New Residential Constr  |
| B24-0472           | 002 15 01 022     | Tallent's Construction | 857 River Bluff Rd  | PD   | 9/26/2024     | Construct 12x20 Deck    |
|                    |                   |                        |                     |      |               |                         |
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City of North Augusta  
Department of Planning and Development

**Sign Permits**

| Application Number | Tax Parcel Number | Applicant    | Legal Description | Zone | Approval Date | Use |
|--------------------|-------------------|--------------|-------------------|------|---------------|-----|
| SN24-028           | 006 12 05 001     | Adam Tardiff | Hobby Lobby       | GC   | 9/17/2024     |     |
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**Certificate of Zoning Compliance Approvals**

| Application Number | Tax Parcel Number | Applicant        | Legal Description         | Zone  | Approval Date | Use |
|--------------------|-------------------|------------------|---------------------------|-------|---------------|-----|
| CZC24-080          | 006 20 05 002     | Krista Broughton | Beefed Up LLC             | GC    | 9/3/2024      |     |
| CZC24-081          | 013 17 04 001     | Jamie Holmes     | Empower Pediatric Therapy | PD\HC | 9/3/2024      |     |
| CZC24-082          | 010 14 04 012     | Willard Cooper   | The Peach Cobbler Factory | PD    | 9/4/2024      |     |
| CZC24-083          | 006 18 14 004     | Alicia Byars     | Autumn Grace Boutique LLC | GC    | 9/10/2024     |     |
| CZC24-084          | 006 12 05 001     | Brooke Young     | Qualtiy Air Pros LLC      | GC    | 9/11/2024     |     |
| CZC24-085          | 006 12 05 001     | Jude Crayton     | Hobby Lobby               | GC\HC | 9/16/2024     |     |
| CZC24-086          | 006 21 01 008     | Katrina Wheeler  | KLW Cut N Style           | GC    | 9/19/2024     |     |
|                    |                   |                  |                           |       |               |     |
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