

Board of Zoning Appeals



Minutes for the Tuesday, January 4, 2022, Regular Meeting

Members of the Board of Zoning Appeals

Wesley Summers

Chairman

Bill Burkhalter

Kathie Stallworth

Jim Newman

Kevin Scaggs

CITIZEN ASSISTANCE: Individuals requiring special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development 48 hours prior to the meeting at 803-441-4221.

REGULAR MEETING

1. **Call to Order** – 6:00 p.m.
2. **Roll Call**- Present at meeting were Chairman Wes Summers, Kathie Stallworth and Bill Burkhalter
3. **Approval of Minutes** – Minutes of the Regular Meeting of the November 4, 2021 meeting. The minutes from November meeting had several typing errors and will need to be corrected. Mr. Burkhalter made a motion to approve minutes with the errors being corrected and Kathie seconded the motion. Everyone agreed on the minutes with the corrections being made.
4. **Confirmation of Agenda** – There were no changes to the agenda.
5. **ZV21-011** - A request by Sara and Greg Brown for a variance at 305 W Forest Ave, TPN 007-10-03-004 from Section 3.8.6.3. and Table 3-11, Dimensional Standards for the Neighborhood Preservation Corridor Overlay District of the North Augusta Development Code for a house that exceeds the maximum building footprint of 3,000 sf by approximately 272 sf. The application affects ±0.22 acres zoned R-7, Small Lot, Single-Family Residential, and within the NP, Neighborhood Preservation Overlay District.
 - a. **Public Hearing** – The purpose of the hearing is to receive public comment on the application. Mr. Paradise stated Mr. & Mrs. Brown would like to build a new primary residence. The property is in the Neighborhood Preservation overlay district and the building footprint is limited to 3000 square feet. They have a unique situation and want a one story house. If they built a 2 story house it

would meet the maximum footprint but not accommodate their needs. The applicants worked with Staff to find an alternate solution that would fit the code and would work for the family. The Browns also might have parents to live with them at some point as well. The Browns have also spoken with the neighbors in reference to what they would like to do. They also are trying to preserve a big tree that is on the property. Sara Brown & Greg Brown were sworn in to speak about the house they would like to build. Mr. Brown stated they would like to have a one story home with an office for Sara and spare bedroom for her mother. Mrs. Brown stated her husband designed the house. She also stated she has bad knees and a two story home would not work for them. Mrs. Brown stated they have a small child and her mother will at some time live with them at this home and for health reasons a one story home is what works best for the family. Mrs. Brown tried to use all the square footage of the home. Mr. Brown stated they want to keep the big tree and most of the shrubbery on the property. They have spoken with the neighbors and they are okay with their plans for the home and excited to have them in the neighborhood. The house is designed to look more historical to fit the neighborhood.

- b. **Consideration** – Consideration of Application ZV21-011 by the Board of Zoning Appeals. Chairman Wes Summers read the findings of fact. Based on the discussion, consideration of the staff report, the opportunity for public comment, and testimony by the applicant, the Board found in the affirmative that the appeal meets all of the standards required to issue the variance. After a motion by Ms. Kathie Stallworth, duly seconded by Mr. Bill Burkhalter, the Board voted unanimously to approve the application with the following conditions: the variance applies only to this property and the house must look like the drawing that was presented to the board.
6. **Adjourn** – The meeting was adjourned at approximately 7:00 pm.

Department of Planning and Development



Project Staff Report

ZV22-001 KIA Landscaping

Prepared by: Kuleigh Baker

Meeting Date: March 1, 2022

SECTION 1: PROJECT SUMMARY

Project Name	KIA
Applicant	S&H Enterprises/JLA
Address/Location	5425 Jefferson Davis Highway
Parcel Numbers	013-15-02-001 and 013-20-03-004
Total Development Size	±16.54 ac
Existing Zoning	TC, Thoroughfare Commercial
Overlay	HC, Highway Corridor
Variance Requested	NADC Section 3.8.5.8.5, Front Setback Landscaping

SECTION 2: BOARD OF ZONING APPEALS CONSIDERATION

Per NADC § 18.4.5.4.2, the Board of Zoning Appeals shall hear and decide appeals for variances from the requirements of Article 3, Zoning Districts, and Article 13, Signs, when strict application of the regulations would result in unnecessary hardship.

A variance may be granted in an individual case of unnecessary hardship if the Board of Zoning Appeals makes and explains in writing, all of the following:

1. An unnecessary hardship exists;
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
3. The conditions do not generally apply to other property in the vicinity;
4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of

excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)

6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a. To allow the establishment of a use not otherwise permitted in a zoning district.
 - b. To extend physically a nonconforming use of land.
 - c. To change zoning district boundaries shown on the official zoning map.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.

Based on these findings of fact, the Board of Zoning Appeals may approve, approve with conditions, or deny the request.

SECTION 3: PUBLIC NOTICE

Per NADC Table 5-1, 6. Variance, the application and description were advertised via a public notice describing the variance request and advertising the scheduled date of the Board of Zoning Appeals hearing in *The Star* and www.northaugusta.net on February 9, 2022. A written notice of the variance request and scheduled date of the Board of Zoning Appeals hearing was mailed to the owners of property within 200 feet of the subject property on February 4, 2022. The property was posted with the required public notice on February 9, 2022.

SECTION 4: SITE HISTORY

The subject site consists of two parcels containing three existing buildings – an automobile showroom, service repair garage, and office building. On August 5, 2021, the Board of Zoning Appeals approved application ZV21-007, a request from KIA for a variance for a maximum front setback of 153.5 feet and a minimum frontage buildout of 26.3 percent. October 4, 2021, North Augusta City Council approved Ordinance No. 2021-13 rezoning ±7.25 acres, TPN 013-20-03-004 from IND, Industrial to TC, Thoroughfare Commercial. The two parcels will be combined prior to final site plan approval. A third variance has been requested for building materials and lighting levels. The application is subject to the conditions of the variance requests, Planning Commission approval, and final staff approval.

SECTION 5: EXISTING SITE CONDITIONS

	<u>Existing Land Use</u>	<u>Future Land Use</u>	<u>Zoning</u>
Subject Parcels	Commercial	Commercial/Industrial	TC, Thoroughfare Commercial
North	Commercial/Vacant	Commercial	Outside City Limits
South	Vacant/Industrial	Industrial	IND, Industrial
East	Commercial/Industrial	Mixed Use/Industrial	TC, Thoroughfare Commercial/IND, Industrial
West	Vacant	Commercial	TC, Thoroughfare Commercial

Access – The site currently has access from multiple curb cuts along Jefferson Davis Highway and Revco Road.

Topography – The subject site slopes from the west to east with the highest elevations closer to Jefferson Davis Highway.

Utilities – An existing water and sewer line run through the parcel.

Floodplain – The subject property is not located within a federally designated floodway.

Drainage Basin – The subject property is located in the Womrath Basin which is listed in poor condition in the North Augusta Stormwater Management Stream Water Quality Assessment. The basin has high nutrient levels. The stream channel is effective at transporting stormwater loads

during heavy storm events, but some reaches along Womrath Road are impacted by development-related earth moving activities.

SECTION 6: STAFF EVALUATION AND ANALYSIS

The applicant is requesting a variance from the front setback landscaping in Article 3, Zoning Districts, Section 3.8.5.8.5.e Front Setback Landscaping in the Highway Corridor Overlay District.

Section 3.8.5.8.5. e states:

If the front setback exceeds thirty (30) feet and parking or a drive aisle is provided between the front property line and a structure, the first twenty (20) feet measured from the property line shall be landscaped to the standards of a Type D buffer.

The standards of a Type D buffer are found in Table 10-6, Buffer Width and Landscaping Requirements:

	A	B	C	D	E
	Buffer Type	Minimum Buffer Width (feet)	Minimum Required Large Trees per Linear Foot	Minimum Required Small Trees per Linear Foot	Minimum Required Buffer Points per Linear Foot
1.	A	8	1 plus 1 per 60 feet	Optional	0.2
2.	B	15	1 plus 1 per 50 feet	1 plus 1 per 50 feet	0.7
3.	C	20	1 plus 1 per 40 feet	1 plus 1 per 50 feet	1.0
4.	D	40 May be 20 if a 6 foot high berm or decorative masonry wall is included	1 plus 1 per 40 feet	1 plus 1 per 40 feet	1.2 May be 0.9 with 6 foot high berm or wall

The applicant is requesting a variance from planting the small trees required and for a reduction in the buffer width required from 20 feet to 14.5 feet.

Following is analysis required by NADC §5.1.4.5.b (Staff commentary is bulleted):

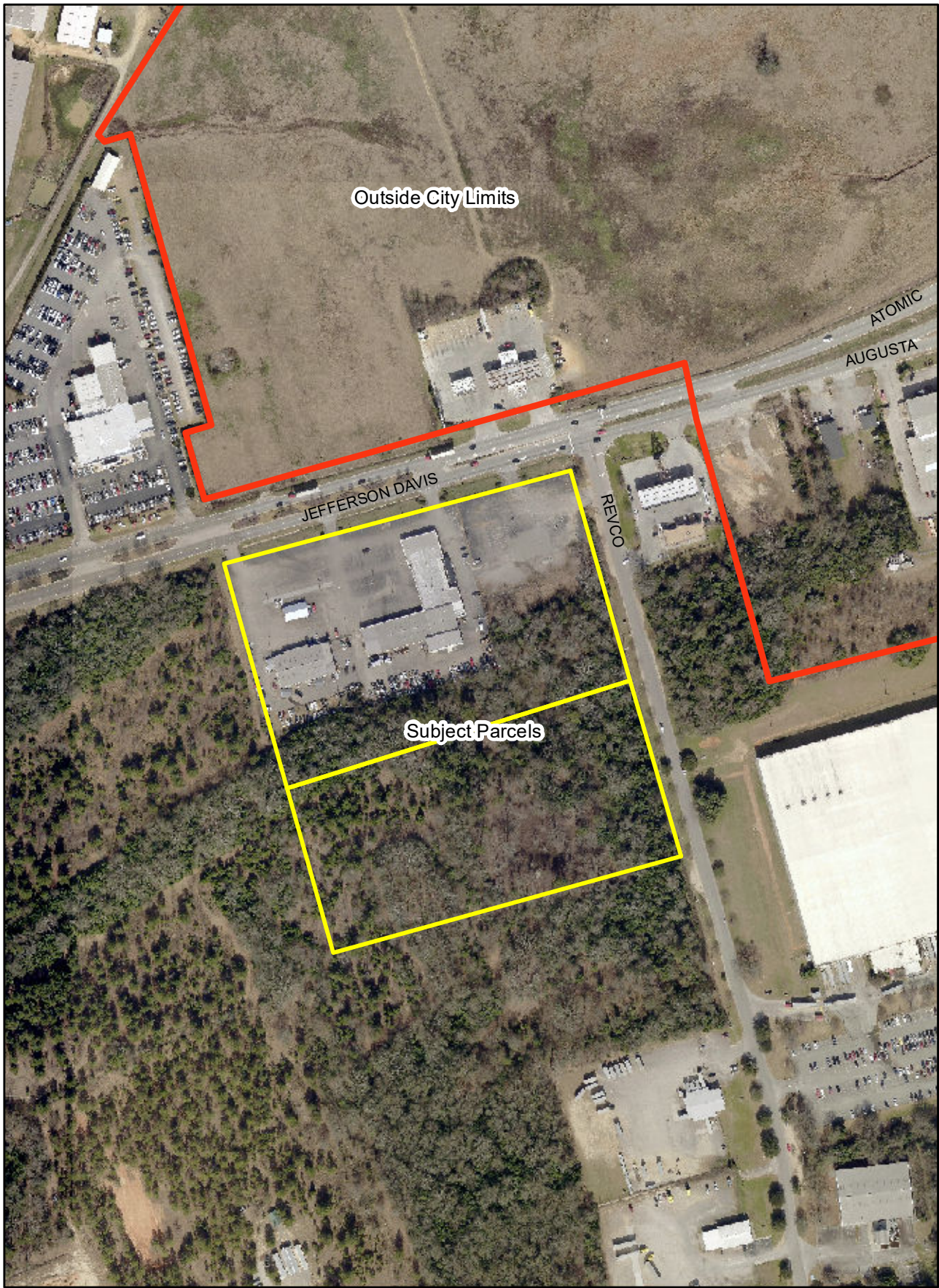
1. An unnecessary hardship exists;
 - The applicant states that the standard creates screening of automobile inventory for sale that do not match the existing dealerships along the same street and would require landscaping hardscape that was previously developed.
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - The applicant states that the first 20 feet of the property is currently paved and would require infill landscaping.
3. The conditions do not generally apply to other property in the vicinity;
 - The applicant states that other car dealerships in the area were not held to the same standard.
4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 - The applicant states the landscaping requirements would restrict the utilization of the property as a car dealership.
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)
 - The applicant states the landscaping will be improved beyond what is existing in the area. Staff does not foresee the reduction of tree material creating excessive noise, light, or traffic in the corridor.
6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
 - Not applicable.
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:

- a To allow the establishment of a use not otherwise permitted in a zoning district.
 - Automobile sales and repair is allowed in the TC, Thoroughfare Commercial zoning district.
 - b To extend physically a nonconforming use of land.
 - The variance does not extend a physically nonconforming use of land.
 - c To change zoning district boundaries shown on the official zoning map.
 - The application does not propose a change to the zoning district boundaries.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
- The applicant states the hardship is created by the requirements of the development code.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
- Staff notes that the fact that the property may be utilized more profitably is not the primary purpose of the request.
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.
- This variance, if granted, will apply only to this property.
 - Staff is open to suggestions for other conditions from the Board.

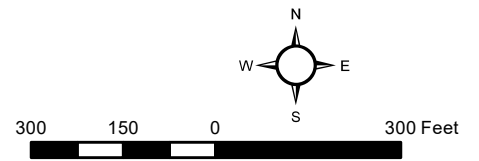
SECTION 7: ATTACHMENTS

- 1) Aerial
- 2) Topography
- 3) Current Zoning
- 4) Future Land Use
- 5) Site Photos
- 6) Public Notice
- 7) Application Materials

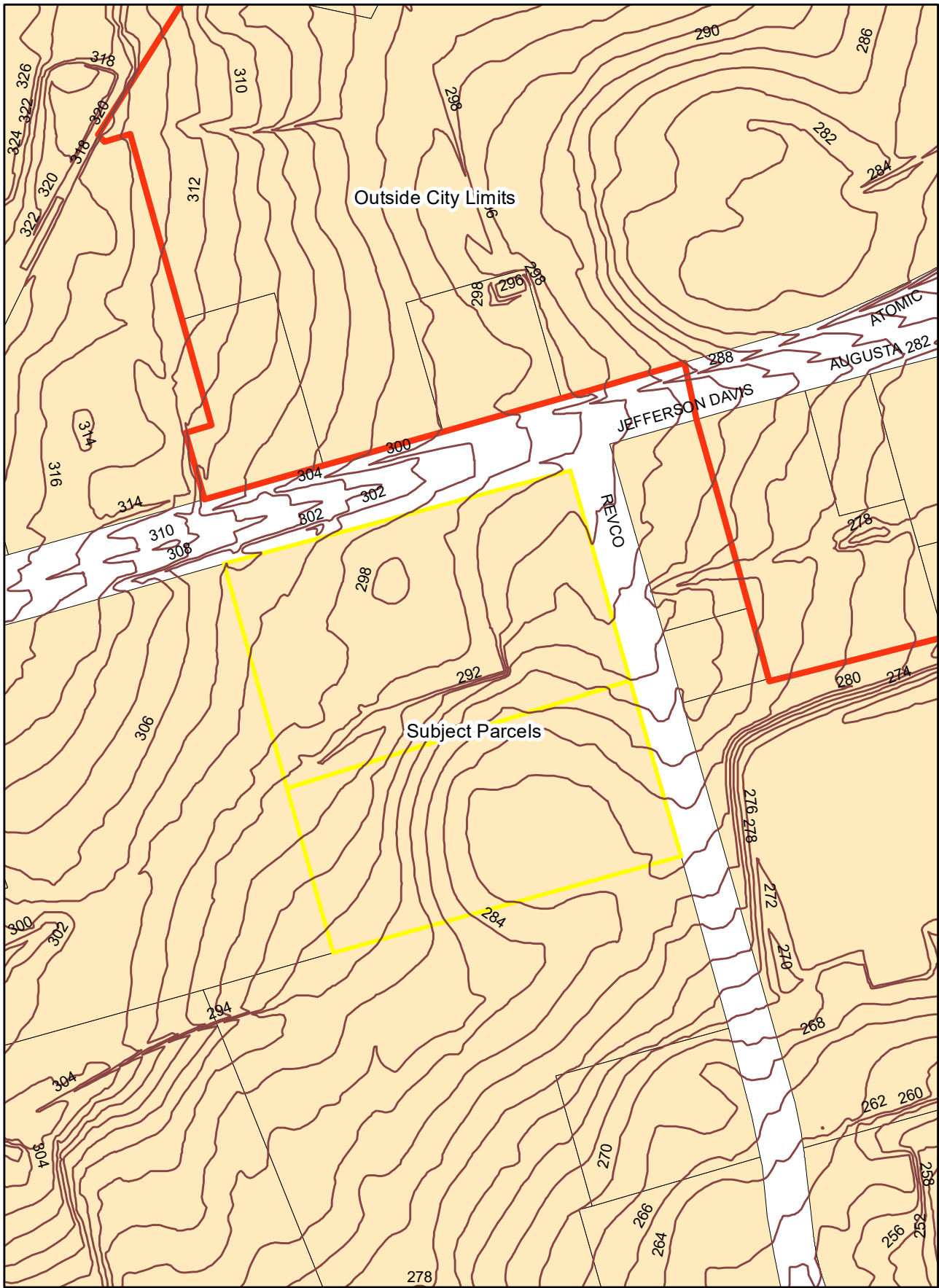
cc. Alexandra Reynolds, JLA, via email
S&H Enterprises, via email



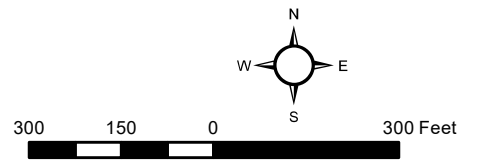
Aerial Map
Application ZV22-001 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



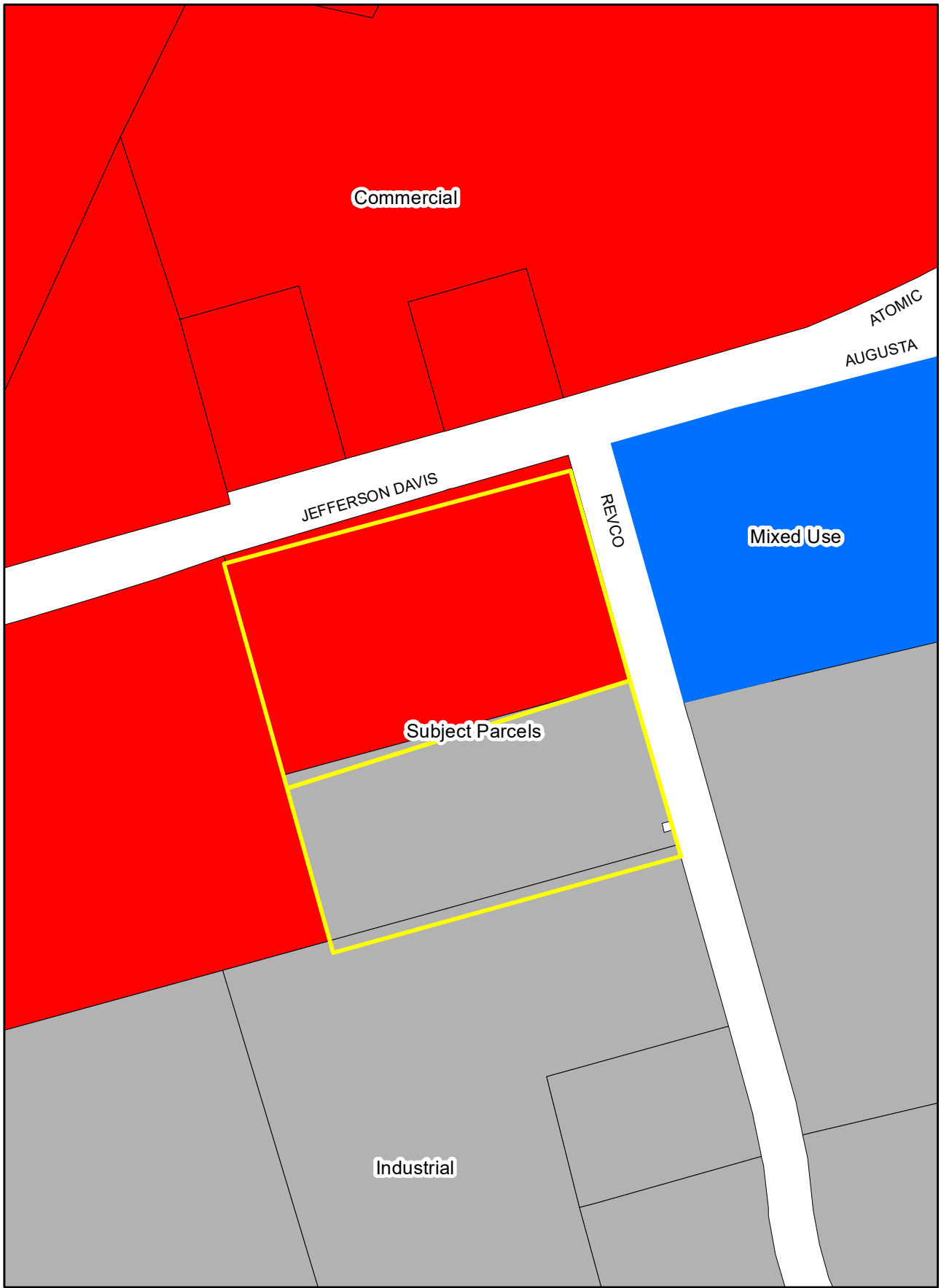
Date: 2/9/2022



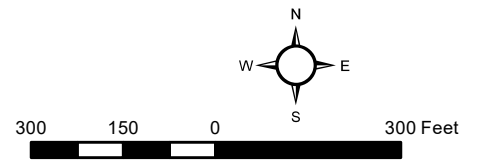
Topography Map
 Application ZV22-001 KIA
 TPNs 013-15-02-001
 and 013-20-03-004
 Approx. 16.54 ac



Date: 2/9/2022



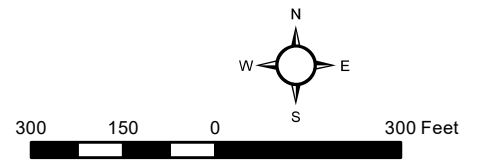
Future Land Use Map
Application ZV22-001 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



Date: 2/9/2022



Zoning Map
Application ZV22-001 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



Date: 2/9/2022

City of
North Augusta, South Carolina
Board of Zoning Appeals

PUBLIC HEARING NOTICE

The North Augusta Board of Zoning Appeals will hold a public hearing at its regular monthly meeting beginning at 6:00 PM on Tuesday, March 1, 2022 in the Council Chambers, North Augusta Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina, to receive public input on the following applications:

ZV21-001 and ZV22-004 – A request by S&H Enterprises represented by JLA for variances from Section 3.8.5.8.5, Front Setback Landscaping; Section 3.8.5.10.5, Permitted Materials with Limitations; and Section 7.4, Table 7-2, Exterior Lighting Levels of the North Augusta Development Code. The application affects a proposed car dealership on ±16.54 acres located at 5425 Jefferson Davis Highway, TPNs 013-15-02-001 and 013-20-03-004 zoned TC, Thoroughfare Commercial, and within the HC, Highway Corridor Overlay District.

ZV22-002 – A request by Carolyn Marie Anderson for a variance from Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code. The application affects a proposed carport addition located at 723 Indian Mound Drive, TPN 002-20-06-012 on ±0.26 acres zoned R-14, Large Lot, Single-Family Residential.

ZV22-003 – A request by Matthew's Development, LLC for a front setback greater than the maximum permitted and a frontage buildout less than the minimum permitted by North Augusta Development Code, Section 3.8.5.3, Table 3-9, Dimensional Standards. The request affects a proposed restaurant on ±2.01 acres located along Edgefield Road, a portion of TPN 011-07-01-003, zoned GC, General Commercial, and within the HC, Highway Corridor Overlay District.

Documents related to the applications will be available for public inspection after February 24, 2022 in the offices of the Department of Planning and Development on the second floor of the Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina and online at www.northaugusta.net. All residents and property owners interested in expressing a view on these cases are encouraged to attend or provide written comments to planning@northaugusta.net

CITIZEN ASSISTANCE: Individuals needing special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development at 803-441-4221 at least 48 hours prior to the meeting.

North Augusta Kia Variance Request Checklist Items- Checklist Response Document

- A. No decision is being appealed. This application is a request for a variance to landscape ordinance 3.8.5.8.5.e. that applies to the Jefferson Davis Frontage of the site and requires a 20' wide Type D buffer.
- B. The required \$250 fee is included with this submittal.
- C. A copy of the same executed Designation of Agent that was attached to the 10-28-2021 Site Plan submittal is included with this submittal.
- D. CV001 shows the existing conditions survey.
- E. Sheets A-101, A-102 and A-103 show the building floor plans, sheets A-401 and A-806 show the building elevations.
- F. L-101 and L-102 are the approved landscape plans from the Hyundai dealership just down the road. These plans were approved without all of the Type D buffer requirements this site is faced with. Similar relief from the landscape ordinance is requested for the Kia site as the car dealership aims to display inventory vehicles.
- G. Included photographs:
 - o G1: An aerial image showing the different amounts of landscape existing among the car dealerships that currently exist along Jefferson Davis Highway near the planned Kia site. The Kia site is the property called out as Lively's Wrecker Service.
 - o G2-G3: Miracle Nissan of North Augusta landscape between the inventory display area and Jefferson Davis Highway. Note there are only two crape myrtles between the inventory parking and Jefferson Davis Highway.
 - o G4-G5: Miracle Toyota of North Augusta landscape between the inventory display area and Jefferson Davis Highway. Note there are small trees (Crape Myrtles) and large trees (Palms and Trident Maples), but they are not in the quantities that are required of the Kia site.
 - o G6-G7: An aerial from Aiken County GIS showing the entire Kia property and a zoomed in aerial of the Kia property. These two photos show the existing limits of pavement range from right on the property line to 4' back of the property line.
 - o G8: An aerial image from Aiken County GIS showing the Miracle Toyota landscape buffer is only 12' wide.

H. Please refer to the included L-101, L-102, L-201 and L-202 Revision C landscape plans for the site. The amount of landscape that is required if all applicable landscape ordinances are followed means three layers of landscape would be required between Jefferson Davis Highway and the inventory display vehicles. Partial relief is requested of the following ordinance:

NADC Sec. 3.8.5.8.5.e. requires a Type D Buffer along the Property's 802 LF of frontage along Jefferson Davis Highway since the property lies in a Highway Corridor Overlay. Type D Buffer requirements of the site are:

- 20' wide buffer
- 1 + 1 Large Tree / 40 LF
- 1 + 1 Small Tree / 40 LF
- 1.2 Minimum buffer points required / LF

To meet these requirements the following must be provided:

- 22 Large Trees (220 Points)
- 22 Small Trees (110 Points)
- 254 Shrubs (635 Points)

Relief is requested of the small tree requirement. Both the trees and shrubs can be grouped together to allow open views into the property. Relief of the small tree requirement is requested so the space between the bottom of the large tree canopy and the tops of the shrubs will be open and not blocked by small trees.

Relief is also requested to reduce the Type D buffer width to 14.5' instead of the required 20'. Requesting the required 20' Type D buffer to be reduced to 14.5' is actually giving back existing developed area to landscape purposes because the already developed site has existing pavement on or within 4' of the property line.

I. Not being granted relief from the width requirement and the small tree requirement of Sec. 3.8.5.8.5.e. provides various hardships to the client:

- Inventory for sale is screened and harder to see along the road as compared to the other dealerships on the same street
- Installing all the landscape per the ordinance does not match the existing dealerships on the same street
- Client is forced to give back up to 20' of developed property (existing paved limits) to landscape under the current ordinance

J. There are no extraordinary or exceptional conditions unique to the property.

K. The other car dealerships on the same street have not needed to install the amount of landscape that is required by existing landscape ordinances. Photos G1-G8 and their descriptions in Section G explain how the other dealerships were not subject to the same requirements Kia is being subject to.

Relief is requested to have an amount of landscape that is more than the other dealerships and to improve aesthetics of the site without having the adverse impacts described within section I.

L. Please see Section I

M. Granting this variance request will still have the subject property landscape improved beyond what other dealerships on the same street have. Even with the relief requested the Kia dealership will by far be the most landscaped car dealership on Jefferson Davis Highway.

N. The voluntary conditions are that full relief is not being requested of the Type D buffer requirements. The project owner is willing to install all required large trees and shrubs.

O. N/A

Designation of Agent

Please type or print all information



Please complete if the property owner is not the applicant.

Staff Use Only	
Application Number _____	Date Received _____

1. Project Name New KIA Dealership

Project Address/Location 5425 Jefferson Davis Hwy., Beech Island, SC 29842

2. Property Owner Name S&H ENTERPRISES Owner Phone 706 312 9200

Mailing Address 1770 GORDON HWY

City AUGUSTA ST GA Zip 30904

Owner Email ghodges@stokesauto.com Owner Fax 800 690 0311

3. Designated Agent William T. Buchanan, P.E.

Relationship to Owner Project Civil Engineer

Firm Name Johnson, Laschober & Associates Phone 706-724-5756

Mailing Address 1296 Broad Street

City Augusta ST Georgia Zip 30901

Email wbuchanan@theJLAgroup.com Fax 706-724-3955

Signature William T. Buchanan Date 7/1/2021

4. I hereby designate the above-named person to serve as my agent and represent me in the referenced application.

Owner Signature [Signature] Date 7/1/2021

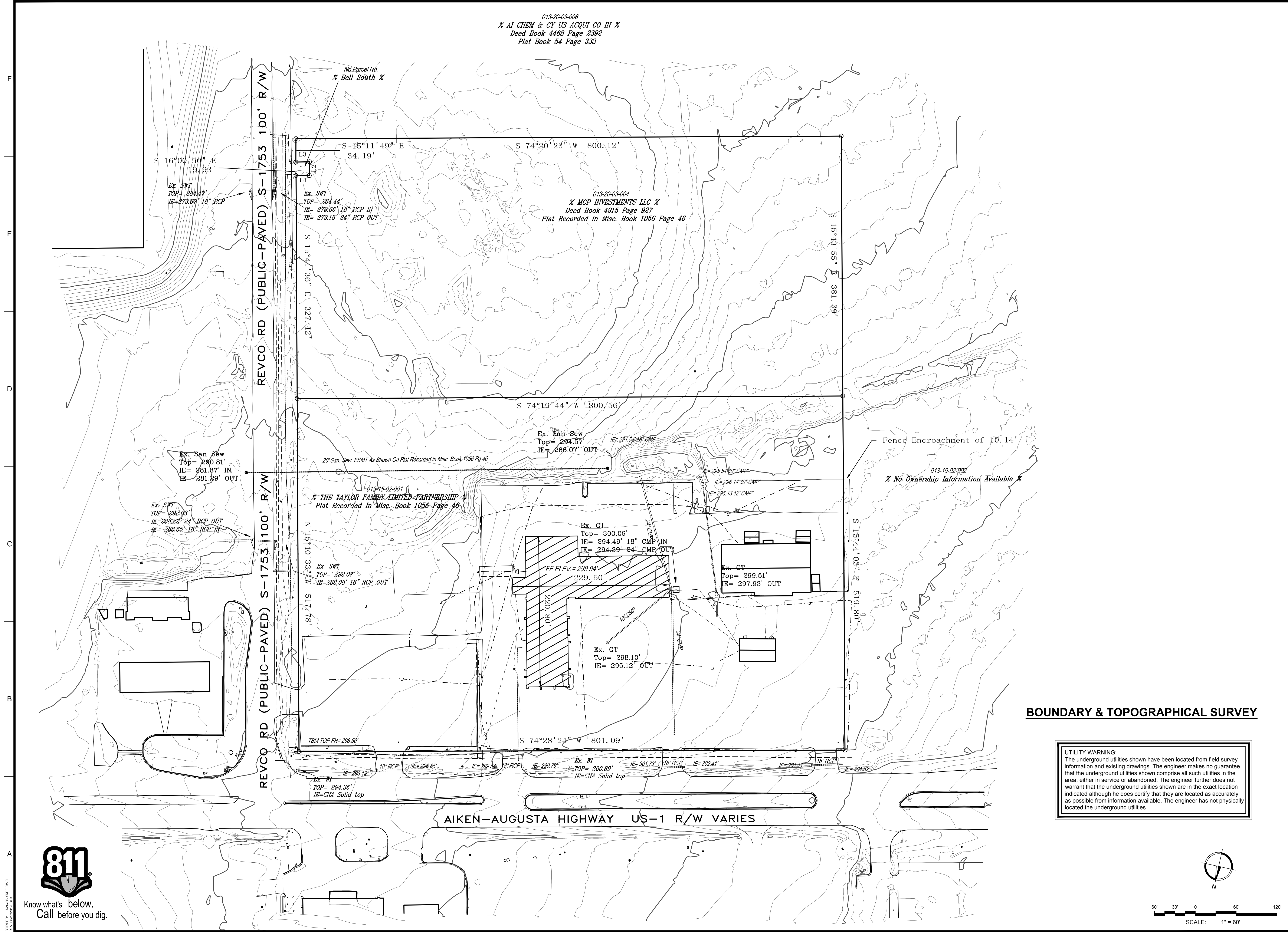
5. Sworn and subscribed to before me on this 1st day of JULY, 2021.

[Signature]
Notary Public

August 13, 2025
Commission Expiration Date

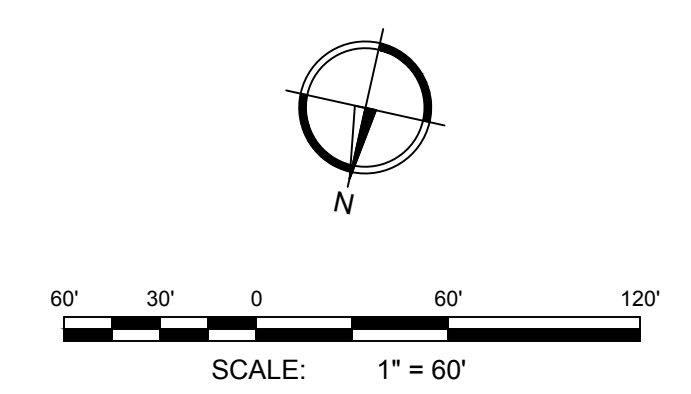
My Commission Expires
August 13, 2025

013-20-03-006
 % AI CHEM & CY US ACQUI CO IN %
 Deed Book 4468 Page 2392
 Plat Book 54 Page 333



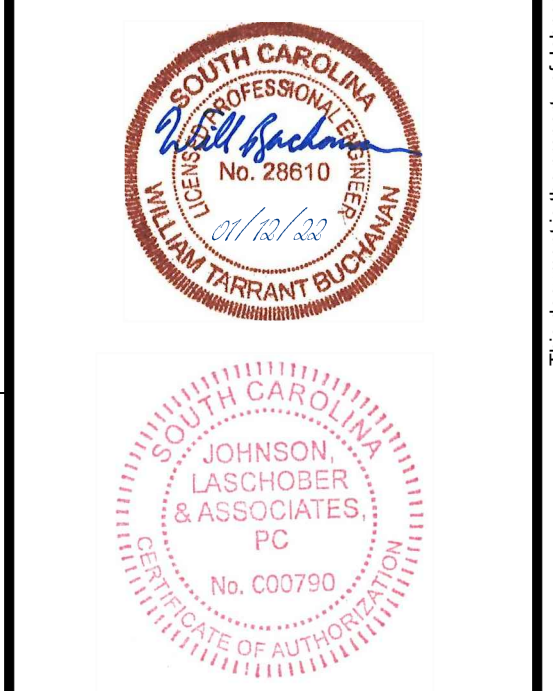
BOUNDARY & TOPOGRAPHICAL SURVEY

UTILITY WARNING:
 The underground utilities shown have been located from field survey information and existing drawings. The engineer makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The engineer further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The engineer has not physically located the underground utilities.



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 FAX (706) 724-3935
 WWW.THEJLAGROUP.COM

CLIENT: **S & H ENTERPRISES**
 1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
 PROJECT NAME: **NEW KIA DEALERSHIP**
 PROJECT LOCATION: **JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841**

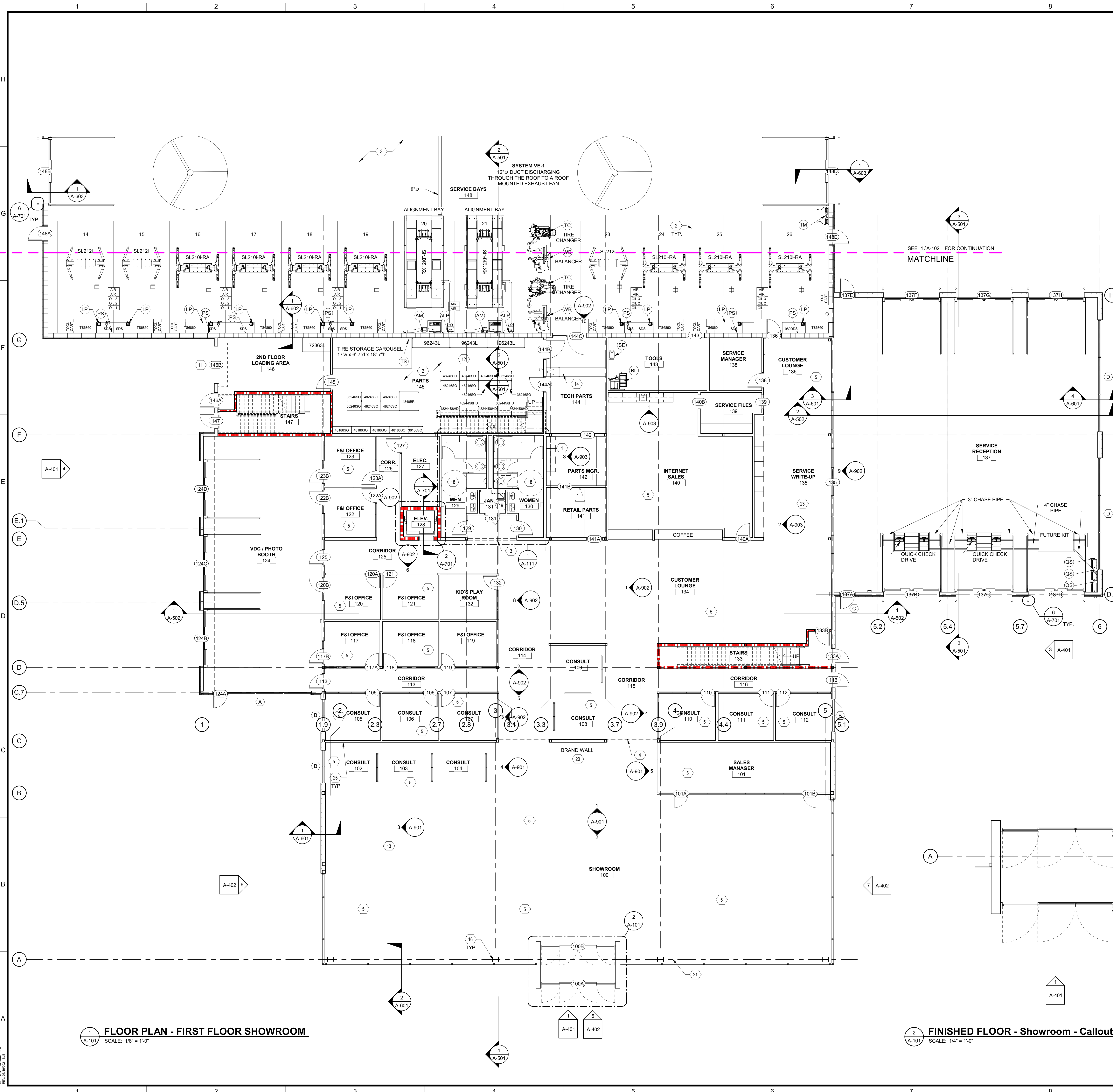


REV	DATE	BY	DESCRIPTION
B	01/12/22	WTB	REVISED PER NA REVIEW COMMENTS & SCDOT SUBMITTA
A	10/28/21	WTB	ISSUE FOR REVIEW AND COMMENT

PROJECT NO. **6248.2101**
 DRAWN BY: **WTB**
 CHECKED BY: **WTB**
 DATE: **05/04/2021**
 SHEET TITLE: **BOUNDARY & TOPOGRAPHICAL SURVEY**
 SCALE: **1" = 60'**
 DRAWING NO. **CV101** REV. **B**



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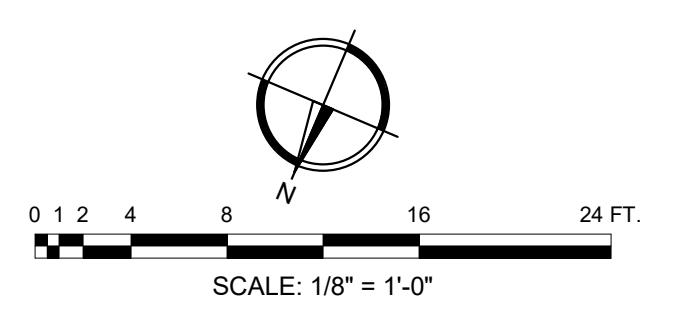


LEGEND - GRAPHIC SYMBOLS		REVISION INDICATION	
	CENTERLINE		REVISION NUMBER
	COLUMN GRID REFERENCE		AREA REVISED
	MATCHLINE		TYPICAL DIMENSION INDICATOR 9 1/2"
	DRAWING LOCATION ON SHEET GRID DRAWING NAME View Name SCALE: 1/8" = 1'-0" DRAWING SCALE SHEET IDENTIFIER FOR LOCATION OF DETAIL		DOOR NUMBER 101
	DETAIL LOCATION ON SHEET GRID TERMINATION OF SECTION SHEET IDENTIFIER FOR LOCATION OF DETAIL		FLOOR ELEVATION 01_FLOOR 12'-0"
	ENLARGED DETAIL INDICATOR DETAIL LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF DETAIL		GLASS TYPE A
	BUILDING ELEVATION KEY ELEVATION LOCATION ON SHEET GRID DIRECTION OF ELEVATION		WALL TYPE H
	SECTION KEYS DIRECTION OF SECTION BUILDING SECTION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF SECTION WALL SECTION LOCATION ON SHEET GRID TERMINATION OF SECTION SHEET IDENTIFIER FOR LOCATION OF SECTION		ROOM NAME AND NO. 101 150 SF
	INTERIOR ELEVATION KEY ELEVATION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF ELEVATION DIRECTION OF ELEVATION		

- DRAWING NOTES**
- OFFICE FURNISHING LAYOUT BY OWNER. ITEMS CAN BE SELECTED FROM SPECIFIED FURNITURE SYSTEM. REFER TO FURNITURE SCHEDULE.
 - STORAGE UNITS LAYOUT AND QUANTITY BY OWNER.
 - LINE OF SOFFIT ABOVE.
 - LINE OF SECOND FLOOR.
 - REFER TO FURNITURE LAYOUT PLAN ON DRAWING A-109.
 - ROLL-UP SECURITY GRILLE.
 - LINE OF CANOPY ABOVE.
 - SECURITY FENCE/GATE.
 - VENDING MACHINE BY OWNER.
 - COORDINATE WALL OPENING SIZE WITH FIXTURE MANUFACTURER.
 - PARTS OVERHEAD DOOR.
 - MEZZANINE PARTS STORAGE OR THE USE OF HIGH DENSITY SHALL BE REQUIRED TO COMPLY WITH DEALERS MINIMUM REQUIREMENTS.
 - VEHICLE LOCATION - MAINTAIN LOCATION.
 - COUNTERTOP: SEE
 - FLOOR FINISH TRANSITION.
 - STRUCTURAL COLUMN LAYOUT
 - INSTALL TRIMCO HARDWARE DOOR PULLS AT PRIMARY ENTRANCE. SEE DP-2 ON EXTERIOR FINISH SCHEDULE FOR MORE INFORMATION.
 - RESTROOM FINISHES TO MATCH PROTOTYPE COLORS AND FINISHES.
 - MOP SINK.
 - BRAND WALL. SEE DRAWING A- FOR DETAILS.
 - FRONT FACADE BRANDING ELEMENT PROVIDED BY PATTISON SIGN GROUP. CONTACT ED MACKLE FOR ADDITIONAL INFORMATION PH: 865-693-1105x132; EMACKLE@PATTISONSIGN.COM.
 - RETAIL DISPLAY SOFFIT BY G.C.
 - ADA COMPLIANT CHAIR(S) TO CORRESPOND WITH ADA COMPLIANT DESK(S).
 - ADD FILM GF-1 TO LOWER 2/3RDS OF SALES CONSULT REAR WINDOWS-TYP.
 - OPEN CONSULTATION OFFICES REAR WALL SHALL RECEIVE P-8 ACCENT PAINT. COORDINATE INSTALLATION OF GRAPHICS WITH VENDOR.
 - ADD SAFETY FILM GF-1 @ +48 ABOVE FINISH FLOOR-TYP.

1 FLOOR PLAN - FIRST FLOOR SHOWROOM
SCALE: 1/8" = 1'-0"

2 FINISHED FLOOR - Showroom - Callout 1
SCALE: 1/4" = 1'-0"



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CLIENT: S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829

PROJECT NAME: **NEW KIA DEALERSHIP**

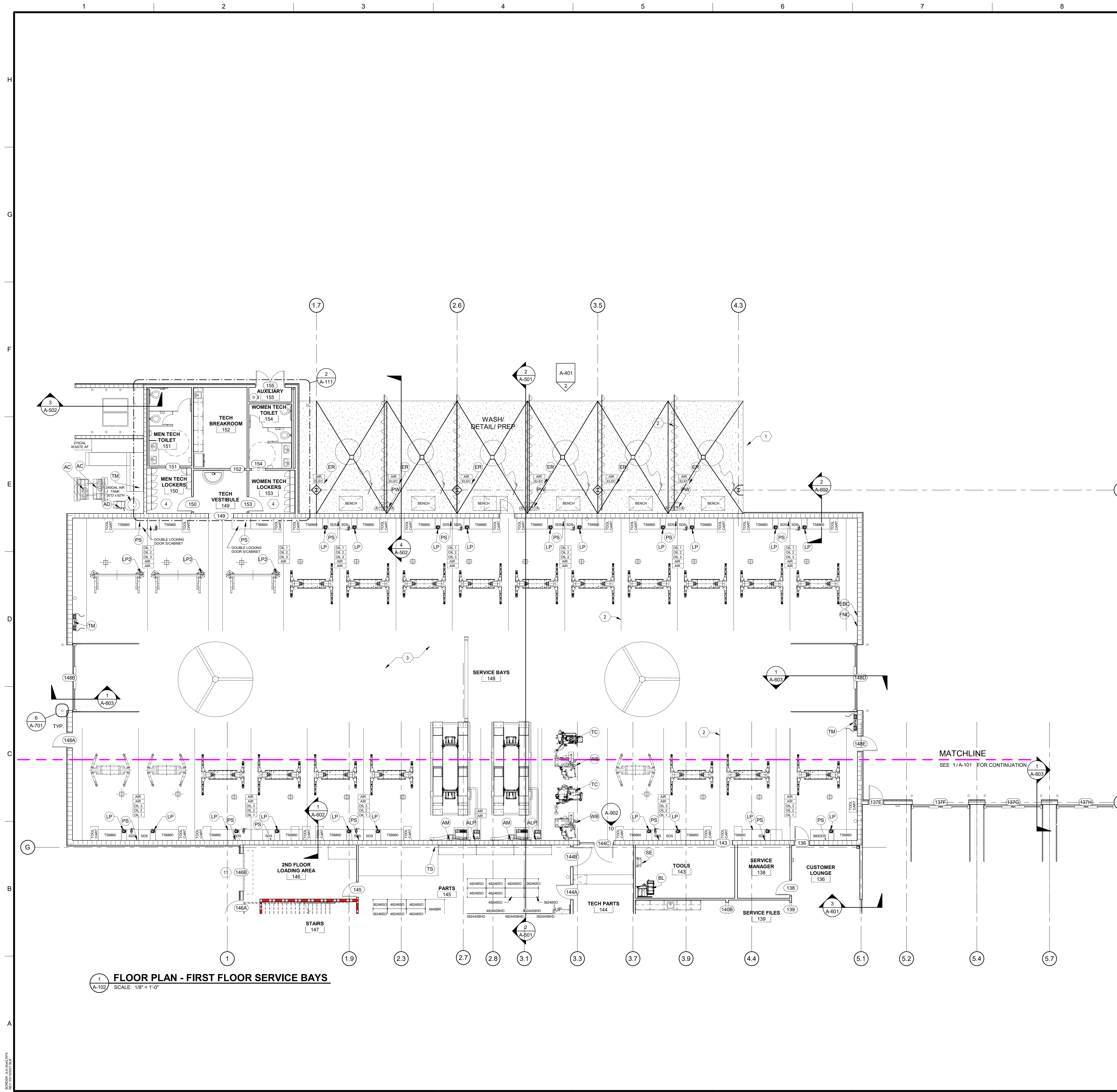
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
C	07/27/21	WLD	ISSUED FOR CONTRACTOR PRICING
B	08/02/21	WLD	ISSUED FOR OWNER REVIEW
A	08/15/21	WLD	ISSUED FOR OWNER REVIEW

PROJECT NO. 6248.2101
DRAWN BY: CBW,CTH
CHECKED BY: WLD
DATE: 05/05/2021
SHEET TITLE: **INFORMATION FLOOR PLAN - FIRST FLOOR SHOWROOM**

SCALE AS NOTED
DRAWING NO. **A-101** REV. **C**



LEGEND - GRAPHIC SYMBOLS

⊖ CENTERLINE	REVISION INDICATION
⊖ COLUMN GRID REFERENCE	AREA REVISED
MATCHLINE	DOOR NUMBER
View Name DRAWING LOCATION ON SHEET GRID DRAWING NAME SCALE: 1/8" = 1'-0" DRAWING SCALE SHEET IDENTIFIER FOR LOCATION OF DETAIL	FLOOR ELEVATION 01 FLOOR 12'-0"
DETAIL/PLAN KEY	GLASS TYPE
ENLARGED DETAIL INDICATOR	WALL TYPE
BUILDING ELEVATION KEY	ROOM NAME AND NO. ROOM NAME 101 150 SF
	SECTION KEYS
	INTERIOR ELEVATION KEY

- DRAWING NOTES**
- LINE OF CANOPY ABOVE
 - DEFINES SERVICE STALL AREA
 - SERVICE BAY LIFT AND ALIGNMENT RACK LAYOUTS BY OWNER PER KIA STANDARDS.
 - LOCKER LAYOUT BY OWNER.

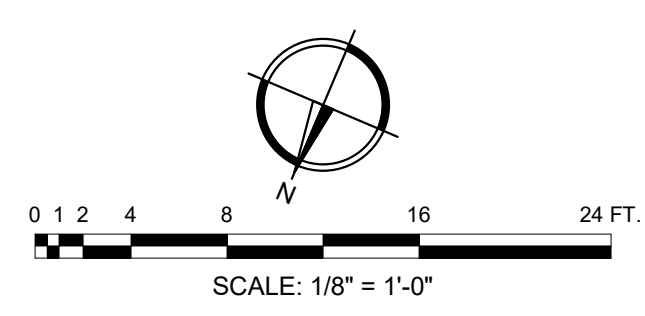
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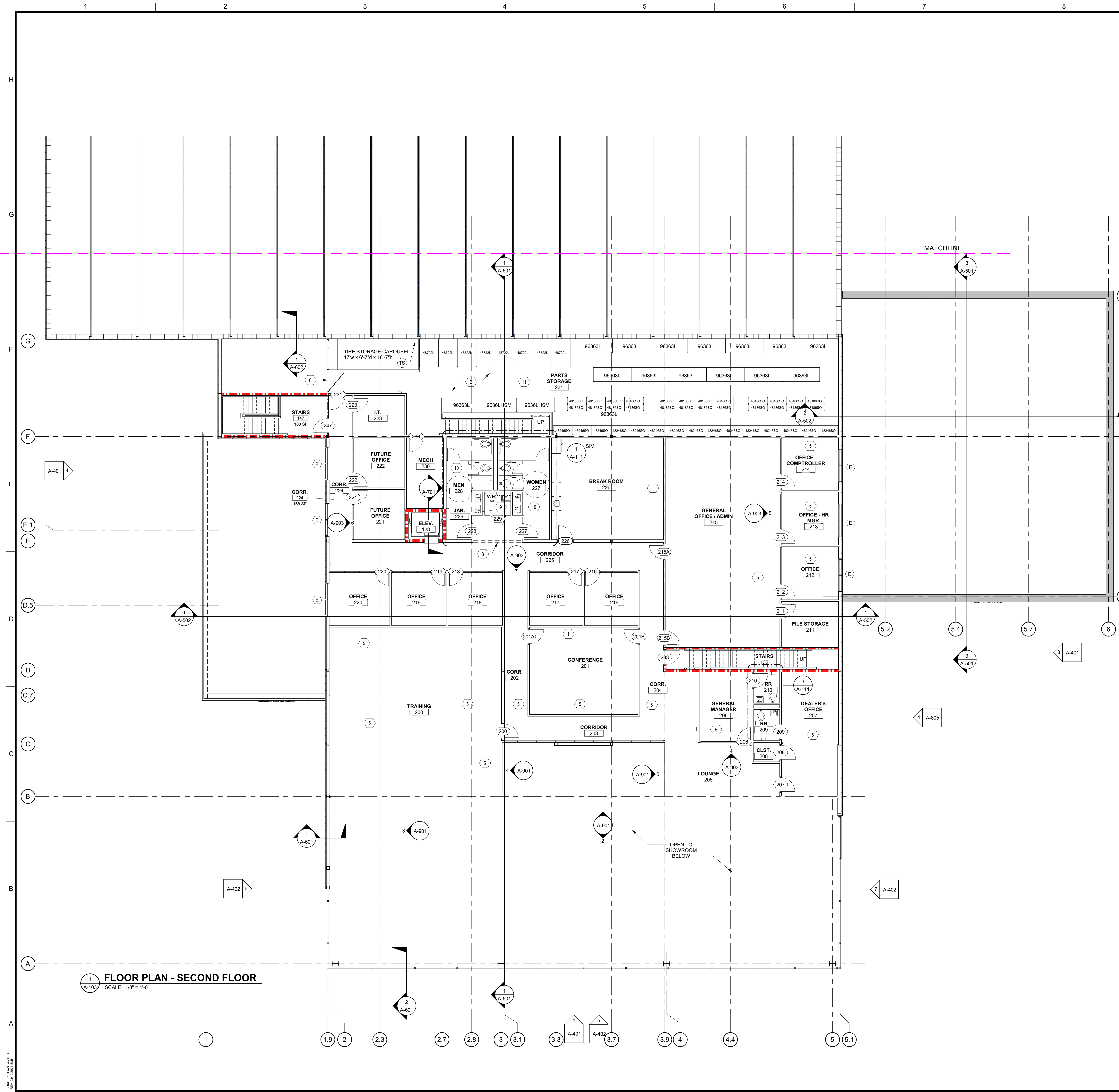
CLIENT: S & H ENTERPRISES
PROJECT NAME: 1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841
NEW KIA DEALERSHIP

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
C	07/21/21	WLD	ISSUED FOR CONTRACTOR PRICING
B	08/02/21	WLD	ISSUED FOR OWNER REVIEW
A	06/15/21	WLD	ISSUED FOR OWNER REVIEW

PROJECT NO. 6248-2101
DRAWN BY: CBW,CTH
CHECKED BY: WLD
DATE: 05/05/2021
SHEET TITLE:
INFORMATION FLOOR PLAN - FIRST FLOOR SERVICE BAY
SCALE AS NOTED
DRAWING NO. **A-102** REV. **C**





LEGEND - GRAPHIC SYMBOLS		REVISION INDICATION	
	CENTERLINE		REVISION NUMBER
	COLUMN GRID REFERENCE		AREA REVISED
	MATCHLINE		TYPICAL DIMENSION INDICATOR
	DRAWING LOCATION ON SHEET GRID DRAWING NAME View Name SCALE: 1/8" = 1'-0" DRAWING SCALE SHEET IDENTIFIER FOR LOCATION OF DETAIL		DOOR NUMBER
	DETAIL LOCATION ON SHEET GRID TERMINATION OF SECTION SHEET IDENTIFIER FOR LOCATION OF DETAIL		FLOOR ELEVATION
	ENLARGED DETAIL INDICATOR DETAIL LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF DETAIL		GLASS TYPE
	BUILDING ELEVATION KEY ELEVATION LOCATION ON SHEET GRID DIRECTION OF ELEVATION		WALL TYPE
			ROOM NAME AND NO. ROOM NAME 101 150 SF
			SECTION KEYS DIRECTION OF SECTION BUILDING SECTION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF SECTION WALL SECTION LOCATION ON SHEET GRID TERMINATION OF SECTION SHEET IDENTIFIER FOR LOCATION OF SECTION
			INTERIOR ELEVATION KEY ELEVATION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF ELEVATION DIRECTION OF ELEVATION

- DRAWING NOTES**
- OFFICE FURNISHING LAYOUT BY OWNER. ITEMS CAN BE SELECTED FROM SPECIFIED FURNITURE SYSTEM. REFER TO FURNITURE SCHEDULE.
 - STORAGE UNITS LAYOUT AND QUANTITY BY OWNER.
 - LINE OF SOFFIT ABOVE.
 - LINE OF CANOPY BELOW.
 - REFER TO FURNITURE LAYOUT PLAN ON DRAWING A-110.
 - SECURITY FENCE/GATE.
 - KITCHENETTE.
 - RAILING - SEE FINISH PLAN FOR FINISHES.
 - MOP SINK.
 - RESTROOM FINISHES TO MATCH PROTOTYPE COLORS AND FINISHES.
 - MEZZANINE PARTS STORAGE OR THE USE OF HIGH DENSITY SHALL BE REQUIRED TO COMPLY WITH DEALERS MINIMUM REQUIREMENTS.

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CLIENT: S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
PROJECT NAME: NEW KIA DEALERSHIP
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
C	07/21/21	WLD	ISSUED FOR CONTRACTOR PERICING
B	08/02/21	WLD	ISSUED FOR OWNER REVIEW
A	08/15/21	WLD	ISSUED FOR OWNER REVIEW

PROJECT NO. 6248-2101
DRAWN BY: CBW,CTH
CHECKED BY: WLD
DATE: 05/05/2021
SHEET TITLE:
INFORMATION FLOOR PLAN - SECOND FLOOR
SCALE AS NOTED
DRAWING NO. **A-103** REV. **C**

SOURCE: JLA/2021/05/05/2021

DATE PLOTTED: 05/05/2021

FACADE MODULATION DIAGRAM
 PER SECTION 3.8.5.10.3 - FACADE
 MODULES SHALL NOT EXCEED EIGHTY (80)
 FEET IN WIDTH AND THE AVERAGE OF ALL
 FACADE MODULES ON A BUILDING MAY
 NOT EXCEED FORTY (40) FEET.

1) 57 FEET < 80 FEET
 2) $36+26+45+20+45+57 = 229$
 $229 / 6 = 38.17$ FEET < 40 FEET

GENERAL NOTES

1. SEE DESIGN INTENT DOCUMENTS (DID)s FOR EXTERIOR SIGNAGE PROGRAM.



CLIENT: S & H ENTERPRISES
 PROJECT NAME: NEW KIA DEALERSHIP
 PROJECT LOCATION: 1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
 JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

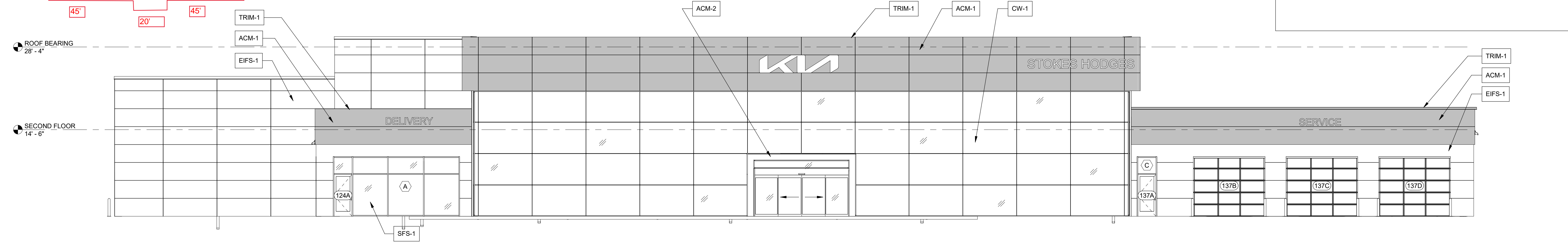
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REV	DATE	BY	DESCRIPTION
C	07/27/21	WLD	ISSUED FOR CONTRACTOR PRICING
B	08/02/21	WLD	ISSUED FOR OWNER REVIEW
A	06/15/21	WLD	ISSUED FOR OWNER REVIEW

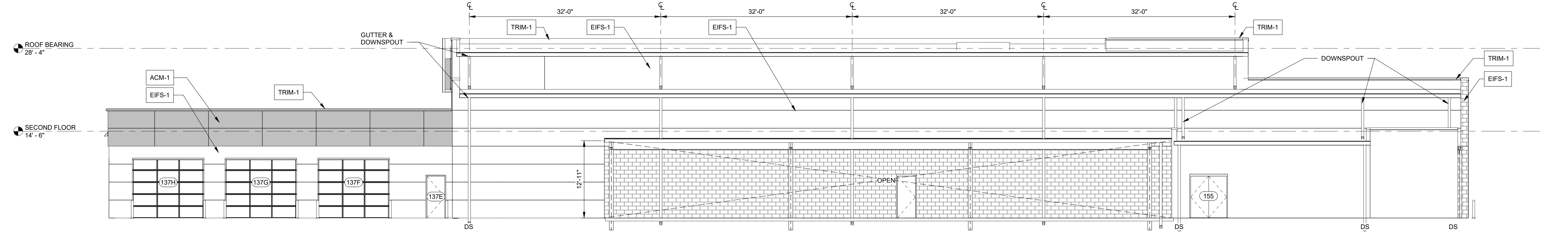
PROJECT NO. 6248.2101
 DRAWN BY: CBW,CTH
 CHECKED BY: WLD
 DATE: 05/05/2021
 SHEET TITLE:

EXTERIOR ELEVATIONS

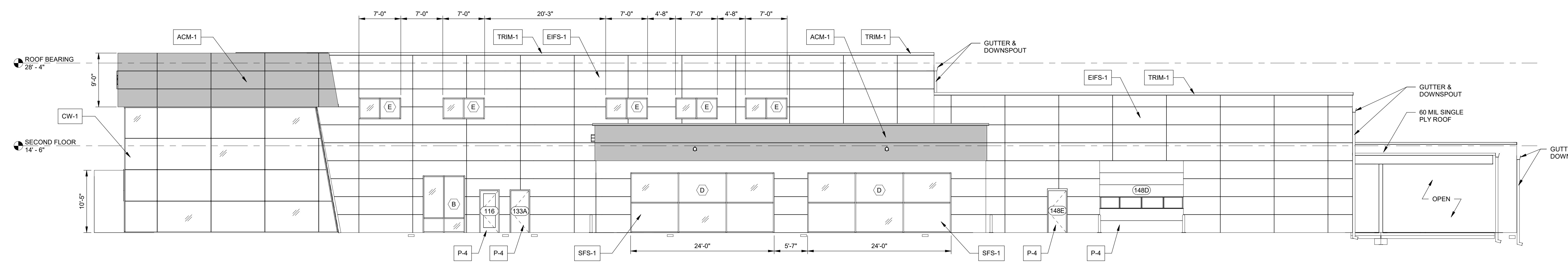
SCALE AS NOTED
 DRAWING NO. A-401
 REV. C



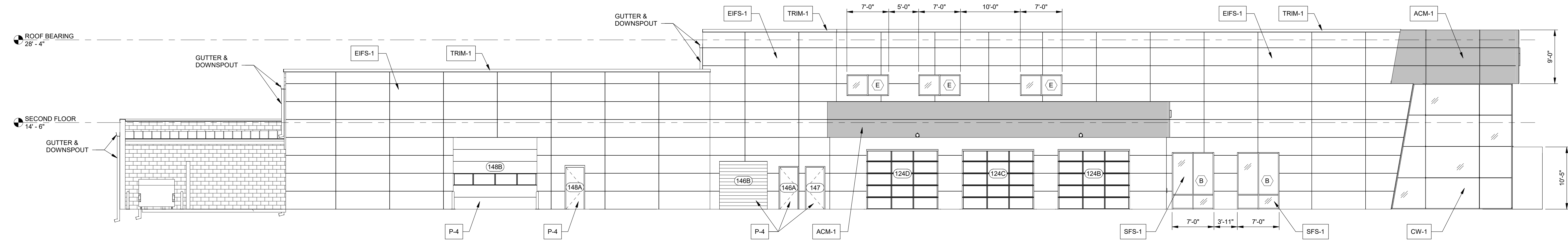
1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SOURCE: JEFFERSON DAVIS HWY. PROJECT

EXTERIOR FINISH SPECIFICATIONS

CODE	MATERIAL	MANUFACTURER	PRODUCT	COLOR	DIMENSION	LOCATION	ADDITIONAL INFORMATION
CC-1	COLORED CONCRETE	LM SCOFIELD	CHROMIX ADMIXTURES FOR COLOR CONDITIONED CONCRETE	1266 COOL GRAY BROOM FINISH	4'X4' SCORE MARKS	ENTRY WALK WAY	CONTACT: ROBERT E. KRAUSKOPF AT LM SCOFIELD COMPANY (800) 800-9900 NOTE: REFER TO MANUFACTURERS SALES REPRESENTATIVE FOR APPROPRIATE PRODUCTS & INSTALLATION RECOMMENDATIONS. NOTE: CONTRACTOR TO CHOOSE SEALING AGENT -CURASEAL - (W) OR (S) BASED ON STATE REQUIREMENTS
CC-2	COLORED CONCRETE	LM SCOFIELD	CHROMIX ADMIXTURES FOR COLOR CONDITIONED CONCRETE	C-34 DARK GRAY BROOM FINISH		ENTRY WALK WAY STRIPING	CONTACT: ROBERT E. KRAUSKOPF AT LM SCOFIELD COMPANY (800) 800-9900 NOTE: REFER TO MANUFACTURERS SALES REPRESENTATIVE FOR APPROPRIATE PRODUCTS & INSTALLATION RECOMMENDATIONS. NOTE: CONTRACTOR TO CHOOSE SEALING AGENT -CURASEAL - (W) OR (S) BASED ON STATE REQUIREMENTS
CF-1	CAP FLASH			COLOR TO MATCH ADJACENT SURFACE			
CMU-1	CONCRETE MASONRY UNIT	OLDCASTLE ECHELON MASONRY	OLDCASTLE ECHELON MASONRY SPLIT FACE BLOCK	L-15 (OR SD-36) FROM OLDCASTLE ANCHOR SPLIT FACE COLORS	8" X 16" STANDARD SPLIT FACE BLOCK, NO RIBBING	EXTERIOR PERIMETER OF BUILDING	CONTACT: JOHN CICCARELLI, OLDCASTLE NATIONAL ACCOUNTS; (602)513-6692 OR JOHN.CICCARELLI@OLDCASTLE.COM NOTE: FOR PRODUCT SUBSTITUTION REFER TO OLDCASTLE ARCHITECTURAL PRODUCTS. NOTE: REFER TO MANUFACTURERS SALES REPRESENTATIVE FOR APPROPRIATE PRODUCTS, INSTALLATION RECOMMENDATIONS AND PRODUCT SUBSTITUTIONS BASED ON REGION.
D-1	MAN DOOR/VEHICLE DOOR	PITTCO ARCHITECTURAL METALS, INC. OR EQUAL	STANDARD NARROW STILE CENTER HUNG DOOR	#63 BLACK FINISH GLASS & ALUMINUM	PAIR 3070-MAIN ENTRY; PAIR 4060-VEHICLE ACCESS (8' OPENING)	SHOWROOM	CONTACT: PITTCO ARCHITECTURAL METALS (800) 992-7488
D-2	ROLLING OVERHEAD DOOR			BLACK	10'X10'	SERVICE RECEPTION, VEHICLE DELIVERY	
D-3	ROLLING OVERHEAD PARTS RECEIVING DOOR			NO GLAZING PAINT: SEE EP-1		PARTS RECEIVING	
D-4	MAN DOOR	PITTCO ARCHITECTURAL METALS, INC. OR EQUAL	STANDARD NARROW STILE CENTER HUNG DOOR	#63 BLACK FINISH GLASS & ALUMINUM	3070	SHOWROOM	CONTACT: PITTCO ARCHITECTURAL METALS (800) 992-7488
D-5	ROLLING OVERHEAD DOOR			PROVIDE SINGLE BAND OF GLASS PAINT EP-1	SEE DRAWING FOR SIZE	SERVICE BAYS	
D-6	SOLID MAN DOOR			PAINT: BENJAMIN MOORE, EXTERIOR RM CHARCOAL SLATE - SEE EP-1			
EIFS-1	NOT USED						
EIFS-2	EXTERIOR INSULATED FINISHING SYSTEM	DRYVIT	DRYVIT SYSTEMS, INC. OUTSULATION PLUS MD EIFS	KIAM 02 1030 #633A BATTLESHIP		ALTERNATE TO CMU-1	CONTACT: BEN LEWIS AT B&L DISTRIBUTING (803) 735-0666 OR BRIAN MCGOWAN AT DRYVIT (404) 643-1973
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	SUPER SPEC HP DTM ACRYLIC LOW LUSTER P25	EXTERIOR RM CHARCOAL SLATE		EXTERIOR METAL DOORS	CONTACT: JASON WALKER AT BENJAMIN MOORE (773) 597-8698
EP-2	EXTERIOR PAINT	BENJAMIN MOORE		OC-61 WHITE DIAMOND			
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	***SEE ADDITIONAL INFORMATION FOR PRODUCT SPECIFICATION	1461 STERLING SILVER		ALTERNATE TO CMU-1	CONTACT: JASON WALKER AT BENJAMIN MOORE (773) 597-8698 NOTE: CONTACT MANUFACTURER TO OBTAIN APPROPRIATE PRIMER & PAINT SERIES FOR SUBSTRATE
GL-4	EXTERIOR GLAZING	PPG INDUSTRIES OR EQUAL	ARCHITECTURAL GLASS	ZONES 1,2 & 3: PPG SOLARBAN R100 CLEAR VISIBLE TRANSMITTANCE = 42% ZONES 4-8: PPG SOLARBAN 60 CLEAR VISIBLE TRANSMITTANCE = 70%		GENERAL	CONTACT: BOB SCHROCK AT PPG INDUSTRIES (513) 543-2555 NOTE: WINDOW GLAZING, TINT OR FILM SHOULD BE IN COMPLIANCE WITH LOCAL ENERGY CODES. IT IS THE RESPONSIBILITY OF THE ARCHITECT OF RECORD TO PREFORM DUE DILIGENCE IN PREPARING THE CONSTRUCTION DOCUMENTS TO ENSURE A CODE COMPLIANT BUILDING
MP-1	METAL PANEL	ALPOLIC	DRY JOINT SYSTEM	4MMSAW SAW WHITE	50/62" W X 180" L	EXTERIOR FACADE MAIN FIELD	CONTACT DAVID J. KEARNEY AT ALPOLIC (757) 382-5724 NOTE: FOR NATIONAL ACCOUNT PRICING PLEASE CONTACT VENDOR ABOVE
MP-2	METAL PANEL	ALPOLIC	DRY JOINT SYSTEM	4MMOPT MICA PLATINUM	50/62" W X 180" L	EXTERIOR COLUMNS, EXTERIOR CANOPY	CONTACT DAVID J. KEARNEY AT ALPOLIC (757) 382-5724
SF-1	STORE FRONT	PITTCO ARCHITECTURAL METALS, INC.	TMW 450 & TMW 450 EFG OR EFG-800	ANODIZED BLACK FINISH #63		EXTERIOR SHOWROOM FACADE	
SG-1	SPANDREL GLASS	TRULITE GLASS & ALUMINUM SOLUTIONS	IDC OPACI-COTE - 300	COLOR #3-820 HARMONY GREY		EXTERIOR FACADE	CONTACT: SCOTT BAYS AT TRULITE GLASS & ALUMINUM SOLUTIONS (317) 728-8513



CLIENT: S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
PROJECT NAME: NEW KIA DEALERSHIP
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION
A	12/21/21	WLD	ISSUED FOR CONTRACTOR PRICING

PROJECT NO. 6248.2101
DRAWN BY: JPT
CHECKED BY: WLD
DATE: 05/05/2021
SHEET TITLE: EXTERIOR FINISH SPECIFICATIONS
SCALE: AS NOTED
DRAWING NO. A-806 REV. A

SOURCE: JLA/2021/PPA
DATE: 05/05/2021

12/21/21

COUNT	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	REMARKS
10	Ns	3" CAL	Nyssa sylvatica 'Green Gable'	Green Gable Black Tupelo	14'-16"	AS SHOWN	
22	Sp	FIELD GROWN	Sabal palmetto	Cabbage Palm	15'-16" CT	AS SHOWN	FIELD GROWN, *CLEAR TRUNK MEASURED FROM BASE OF LIVE FRONDS TO GROUND
19	Up	3" CAL	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	14'-16"	AS SHOWN	
27	Li	3" CAL	Lagerstroemia indica x 'Muskogee'	Muskogee Crape Myrtle	12'-14"	AS SHOWN	SINGLE STEM (STANDARD)
5	Cv	3" CAL	Chionanthus virginicus 'Prodigy'	Prodigy Fringetree	6'-8"	AS SHOWN	SINGLE STEM
138	Ag	3 GAL	Abelia x grandiflora	Glossy Abelia	FULL	5' O.C.	
132	Bt	3 GAL	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	FULL	3' O.C.	
191	Dv	3 GAL	Distylium x 'Vintage Jade'	Vintage Jade Distylium	FULL	5' O.C.	
695	Lm	1 GAL	Liriodendron muscari 'Big Blue'	Big Blue Liriodendron	FULL	18" O.C.	

*ALL AREAS NOT OTHERWISE STABILIZED WILL RECEIVE HYBRID BERMUDA GRASS. COORDINATE WITH ES&C DRAWINGS. CONTRACTOR RESPONSIBLE FOR THEIR OWN QUANTITY TAKEOFFS.
 APPROXIMATELY 82,760 SF OF HYBRID BERMUDA SEED
 APPROXIMATELY 48,750 SF OF HYBRID BERMUDA SOD
 REQUIRED BUFFERS:
 TYPE A BUFFER TREES: 1 + 1 / 60LF
 MIN. BUFFER POINTS: 0.2 / LF

C EAST BUFFER: 560LF / 60=9+1=10 LARGE TREES
 BUFFER POINTS REQUIRED: 550 x 0.2= 110 BUFFER POINTS
 WEST BUFFER: 665LF / 60=11+1=12 LARGE TREES
 BUFFER POINTS REQUIRED: 665 x 0.2= 133 BUFFER POINTS
 SOUTH BUFFER: 770LF / 60= 13+1=14 LARGE TREES
 BUFFER POINTS REQUIRED: 770 x 0.2= 154 BUFFER POINTS
 *TYPE D BUFFER (NORTH BUFFER):
 **LARGE TREES: 1 + 1 / 40LF
 ***SMALL TREES: 1 + 1 / 40LF
 MIN. BUFFER POINTS: 1.2 / LF

NORTH BUFFER: 557LF / 60=9+1=10 LARGE TREES
 BUFFER POINTS REQUIRED: 557 x 1.2= 668 BUFFER POINTS
 SMALL TREES UTILIZED IN SCE&G EASEMENT

*BUFFER HAS BEEN REDUCED TO 10' WIDTH BY APPROVED VARIANCE.
 **UNDERGROUND AND OVERHEAD UTILITIES ARE IN CONFLICT WITH SOME REQUIRED TREES. TREE SPACING OF 60' O.C. IS REQUESTED. BUFFER POINT REQUIREMENT WILL BE MET BY ADDITIONAL SHRUBS.

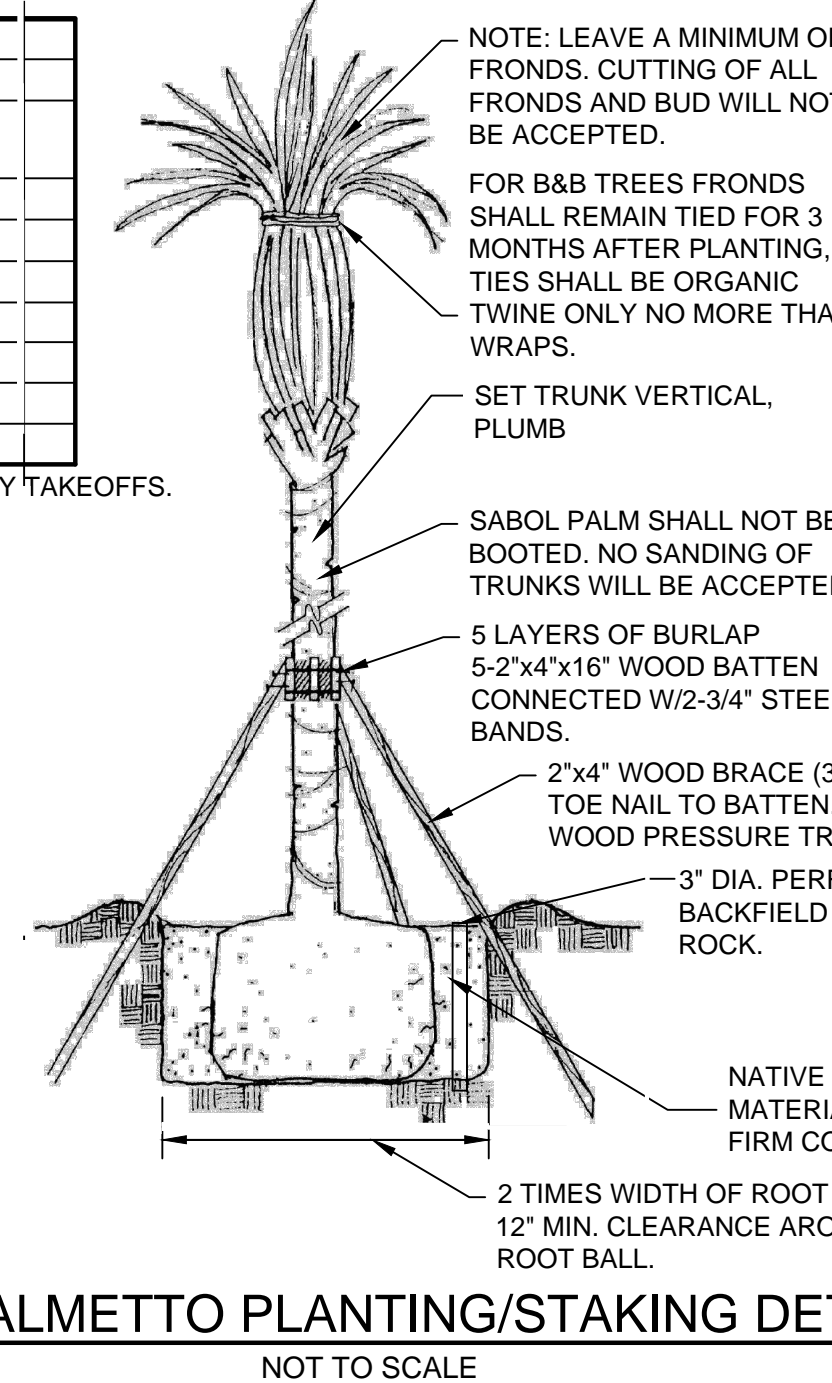
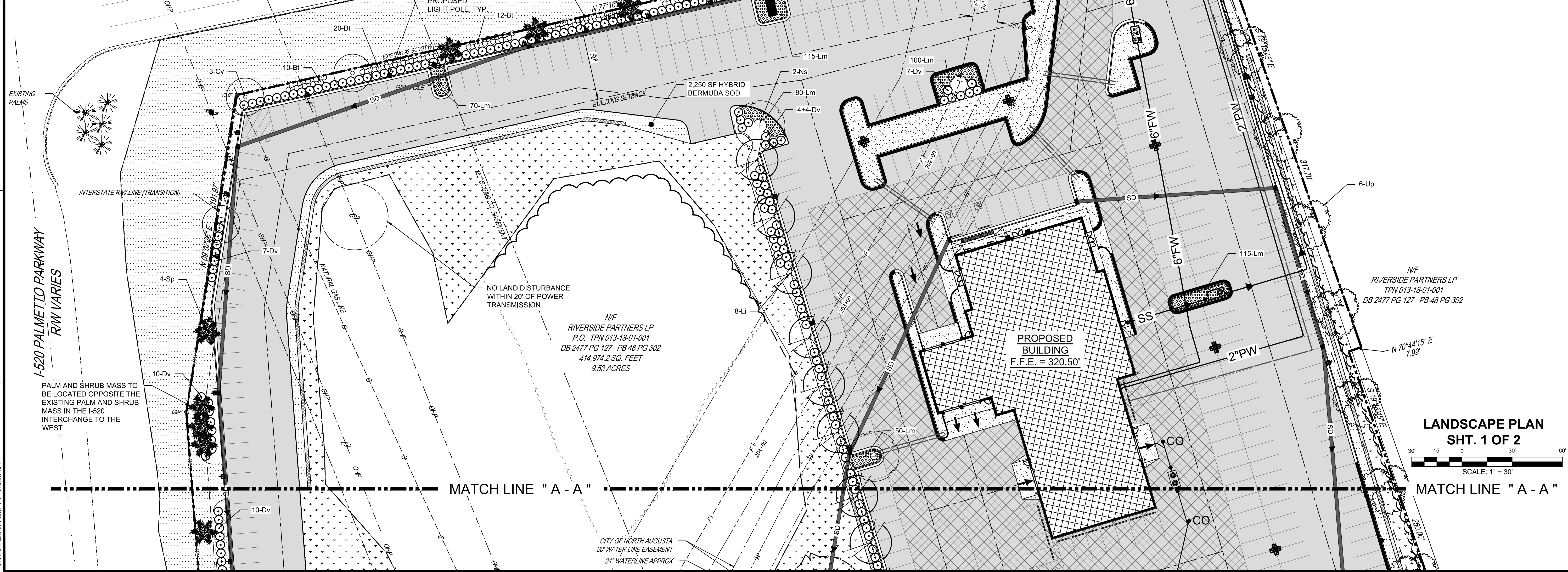
PROVIDED BUFFERS:
 NORTH BUFFER: 9 LARGE TREES: 9 x 10= 90 BUFFER POINTS
 2 SMALL TREES: 2 x 5= 10 BUFFER POINTS
 241 SHRUBS: 241 x 2.5= 602.5 BUFFER POINTS (702.5 TOTAL BP)
 EAST BUFFER: 11 LARGE TREES: 11 x 10= 110 BUFFER POINTS
 WEST BUFFER: 11 LARGE TREES: 11 x 10= 110 BUFFER POINTS
 1 SMALL TREES: 1 x 5= 5 BUFFER POINTS
 51 SHRUBS: 51 x 2.5= 127.5 BUFFER POINTS (242.5 TOTAL BP)
 SOUTH BUFFER: 15 LARGE TREES: 15 x 10= 150 BUFFER POINTS
 2 SMALL TREES: 2 x 5= 10 BUFFER POINTS (160 TOTAL BP)

REQUIRED PARKING LOT LANDSCAPING:
 INTERIOR PARKING LOT TREES= 10 REQUIRED; 10 PROVIDED
 PERIMETER LANDSCAPING:
 ADJACENT TO REAR PROPERTY LINE: SMALL TREES: 1 + 1 / 40LF; 290 / 40= 7+1=8
 SHRUBS: 1 + 1 / 5LF; 290 / 5= 58+1=59
 PROVIDED: 8 SMALL TREES
 89 SHRUBS

ADJACENT TO PARKING AREA:
 SMALL TREES: 1 + 1 / 40LF; 390 / 40= 10+1=11
 SHRUBS: 1 + 1 / 5LF; 390 / 5= 78+1=79
 PROVIDED: 11 SMALL TREES
 79 SHRUBS

B

A



TYPICAL PALMETTO PLANTING/STAKING DETAIL
 NOT TO SCALE



BENCHMARK
 TOP OF FIRE HYDRANT
 ELEVATION = 322.11' (NAVD 88)

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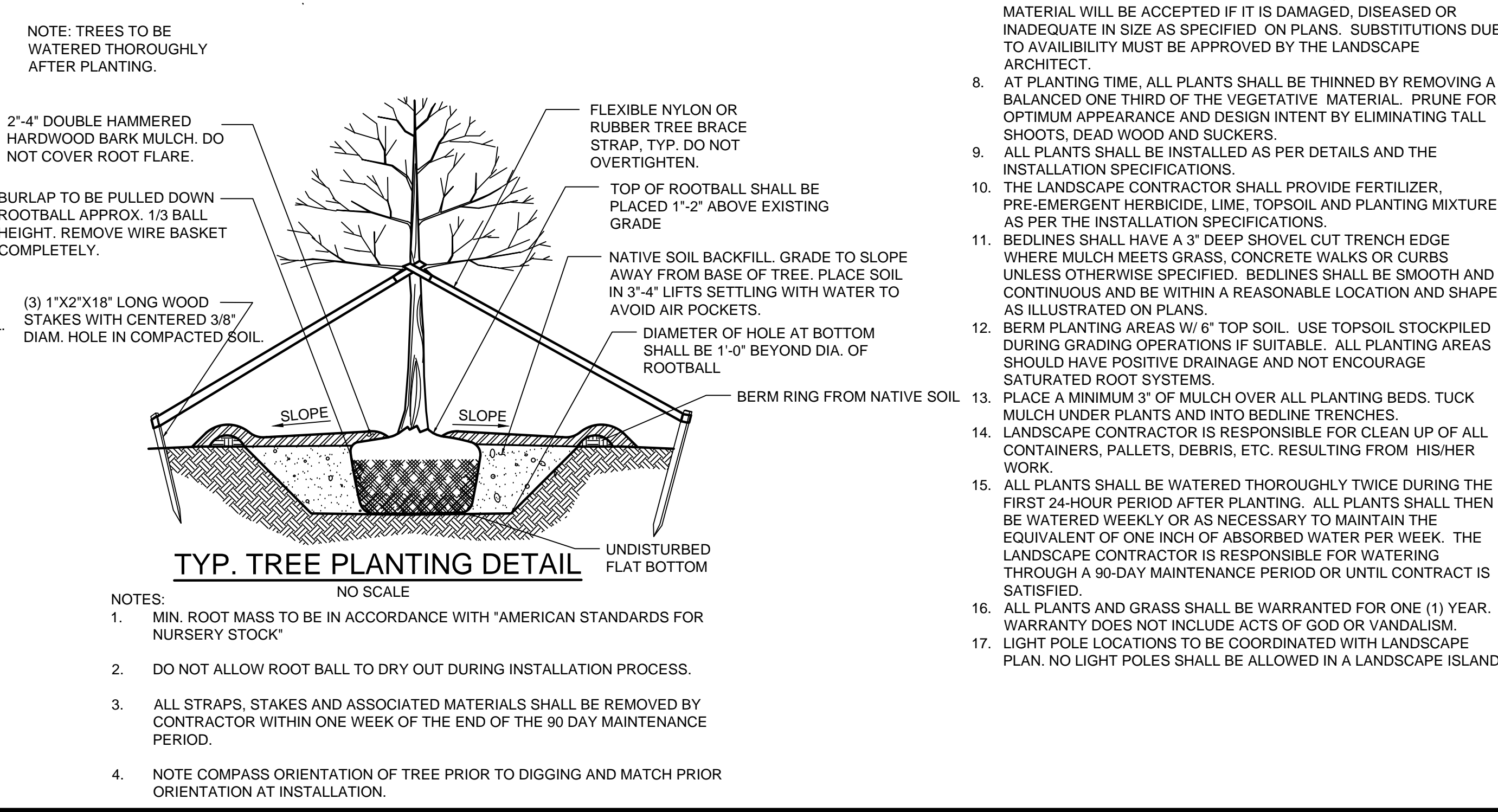
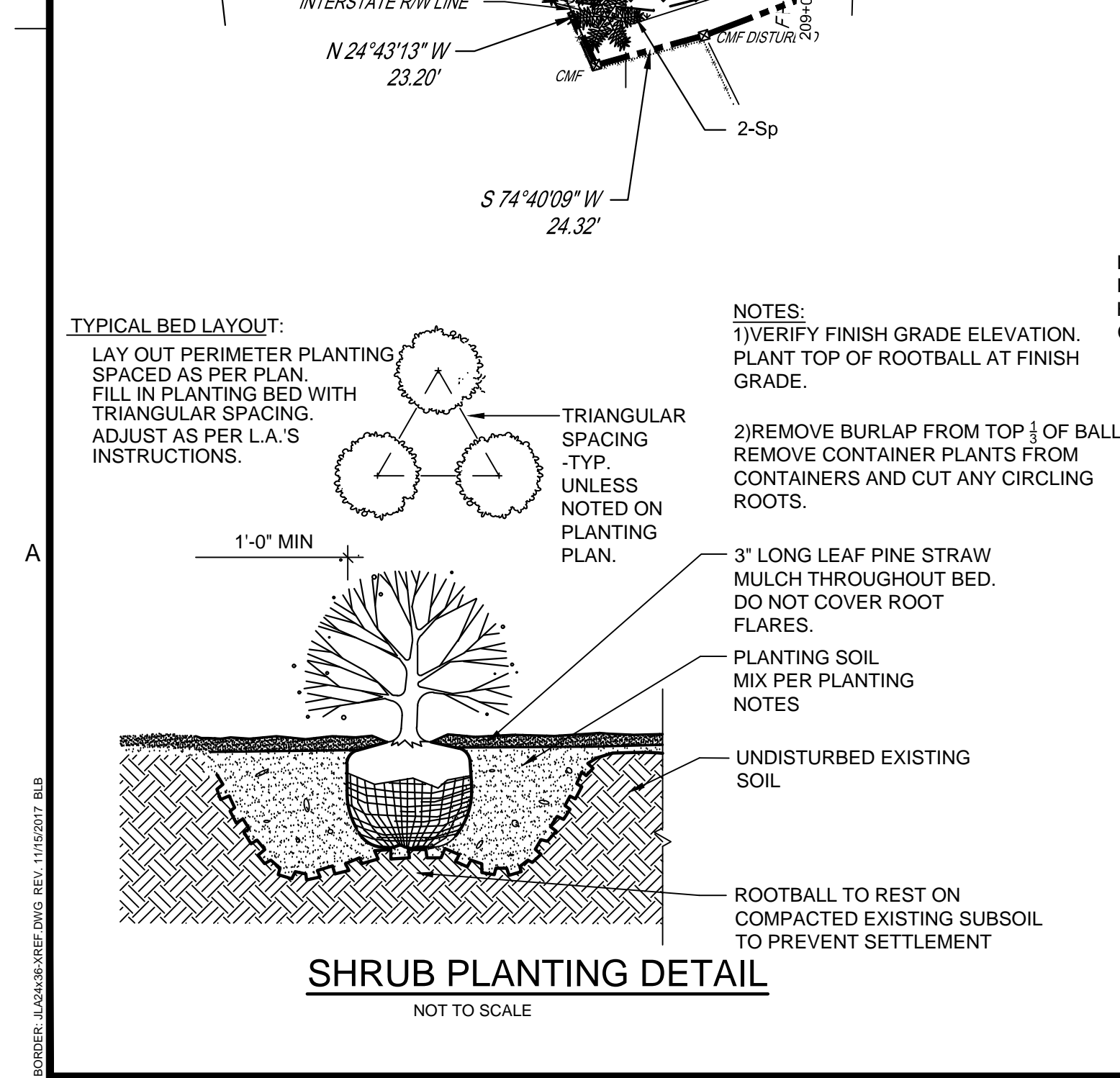
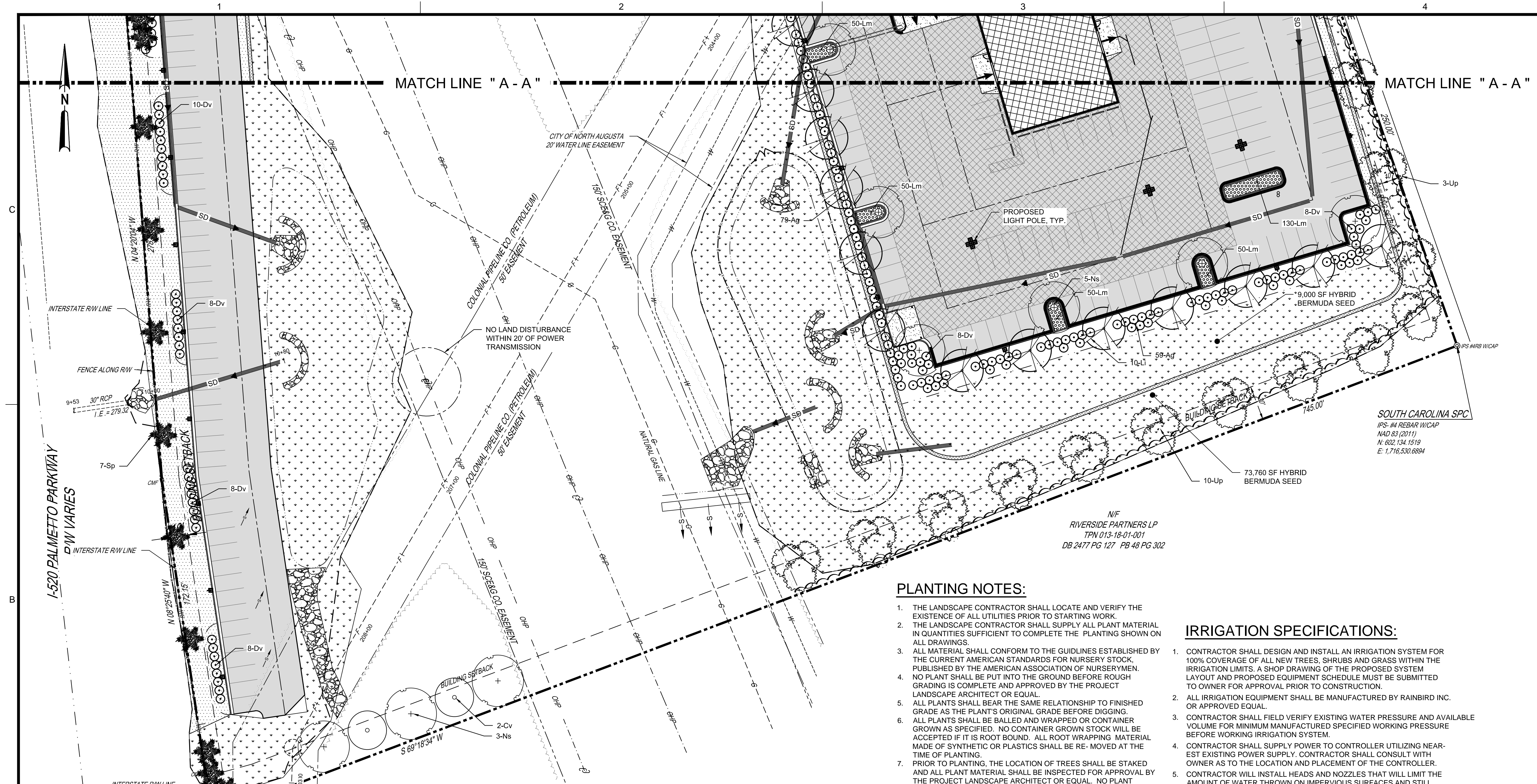
CLIENT: **AMTJ LAND COMPANY, LLC**
 5131 STREAMCREST WAY, FAIRVIEW, TX 75069
 PROJECT NAME:
HYUNDAI CARS OF NORTH AUGUSTA
 PROJECT LOCATION:
 5499 JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29842

Professional seals and stamps for the State of South Carolina, including the Professional Engineer seal for Gregory K. Davis, No. 1058, dated 06/05/18, and the Professional Landscape Architect seal for Johnson, Laschner & Associates, P.C., No. 018, dated 06/05/18.

REV	DATE	BY	DESCRIPTION
1	06/05/18	JLD	ISSUED FOR PERMIT & CONSTRUCTION
2	06/05/18	JLD	ISSUED FOR PERMIT & CONSTRUCTION
0	06/05/18	JLD	ISSUED FOR PERMIT & CONSTRUCTION

PROJECT NO: 5065.1701
 DRAWN BY: ZKD
 CHECKED BY: EDH
 DATE: 01/12/18
 SHEET TITLE:
LANDSCAPE PLAN SHT. 1 OF 2
 SCALE: 1"=30'
 DRAWING NO: **L-101**
 REV: **2**

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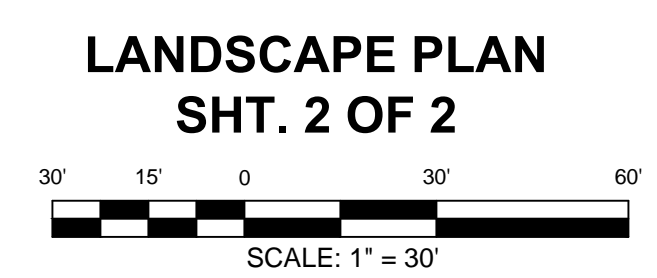


PLANTING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
4. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETIC OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
5. PRIOR TO PLANTING, THE LOCATION OF TREES SHALL BE STAKED AND ALL PLANT MATERIAL SHALL BE INSPECTED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL. NO PLANT MATERIAL WILL BE ACCEPTED IF IT IS DAMAGED, DISEASED OR INADEQUATE IN SIZE AS SPECIFIED ON PLANS. SUBSTITUTIONS DUE TO AVAILABILITY MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
6. AT PLANTING TIME, ALL PLANTS SHALL BE THINNED BY REMOVING A BALANCED ONE THIRD OF THE VEGETATIVE MATERIAL. PRUNE FOR OPTIMUM APPEARANCE AND DESIGN INTENT BY ELIMINATING TALL SHOOTS, DEAD WOOD AND SUCKERS.
7. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE INSTALLATION SPECIFICATIONS.
8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE FERTILIZER, PRE-EMERGENT HERBICIDE, LIME, TOPSOIL AND PLANTING MIXTURE AS PER THE INSTALLATION SPECIFICATIONS.
9. BEDLINES SHALL HAVE A 3\"/>

IRRIGATION SPECIFICATIONS:

1. CONTRACTOR SHALL DESIGN AND INSTALL AN IRRIGATION SYSTEM FOR 100% COVERAGE OF ALL NEW TREES, SHRUBS AND GRASS WITHIN THE IRRIGATION LIMITS. A SHOP DRAWING OF THE PROPOSED SYSTEM LAYOUT AND PROPOSED EQUIPMENT SCHEDULE MUST BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. ALL IRRIGATION EQUIPMENT SHALL BE MANUFACTURED BY RAINBIRD INC. OR APPROVED EQUAL.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING WATER PRESSURE AND AVAILABLE VOLUME FOR MINIMUM MANUFACTURED SPECIFIED WORKING PRESSURE BEFORE WORKING IRRIGATION SYSTEM.
4. CONTRACTOR SHALL SUPPLY POWER TO CONTROLLER UTILIZING NEAREST EXISTING POWER SUPPLY. CONTRACTOR SHALL CONSULT WITH OWNER AS TO THE LOCATION AND PLACEMENT OF THE CONTROLLER.
5. CONTRACTOR WILL INSTALL HEADS AND NOZZLES THAT WILL LIMIT THE AMOUNT OF WATER THROWN ON IMPERVIOUS SURFACES AND STILL MAINTAIN 100% COVERAGE OF PLANTED AREAS WITHIN THE IRRIGATION LIMITS. WATER OVERSPRAY ONTO IMPERVIOUS SURFACES MUST BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE. IRRIGATION WATER MUST BE DIRECTED AWAY FROM BUILDINGS & OTHER STRUCTURES.
6. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE IRRIGATION INSTALLATION BEGINS.
7. NO IRRIGATION WATER SHALL BE THROWN ON BUILDING MASONRY. NO FUNNY PIPE OR OTHER FLEXIBLE PIPE CAN BE USED FOR SUPPLY OR FEEDER LINES. NO STATIONARY RISERS CAN BE USED.
8. ALL PLASTIC PIPE FROM SIZES 4\"/>



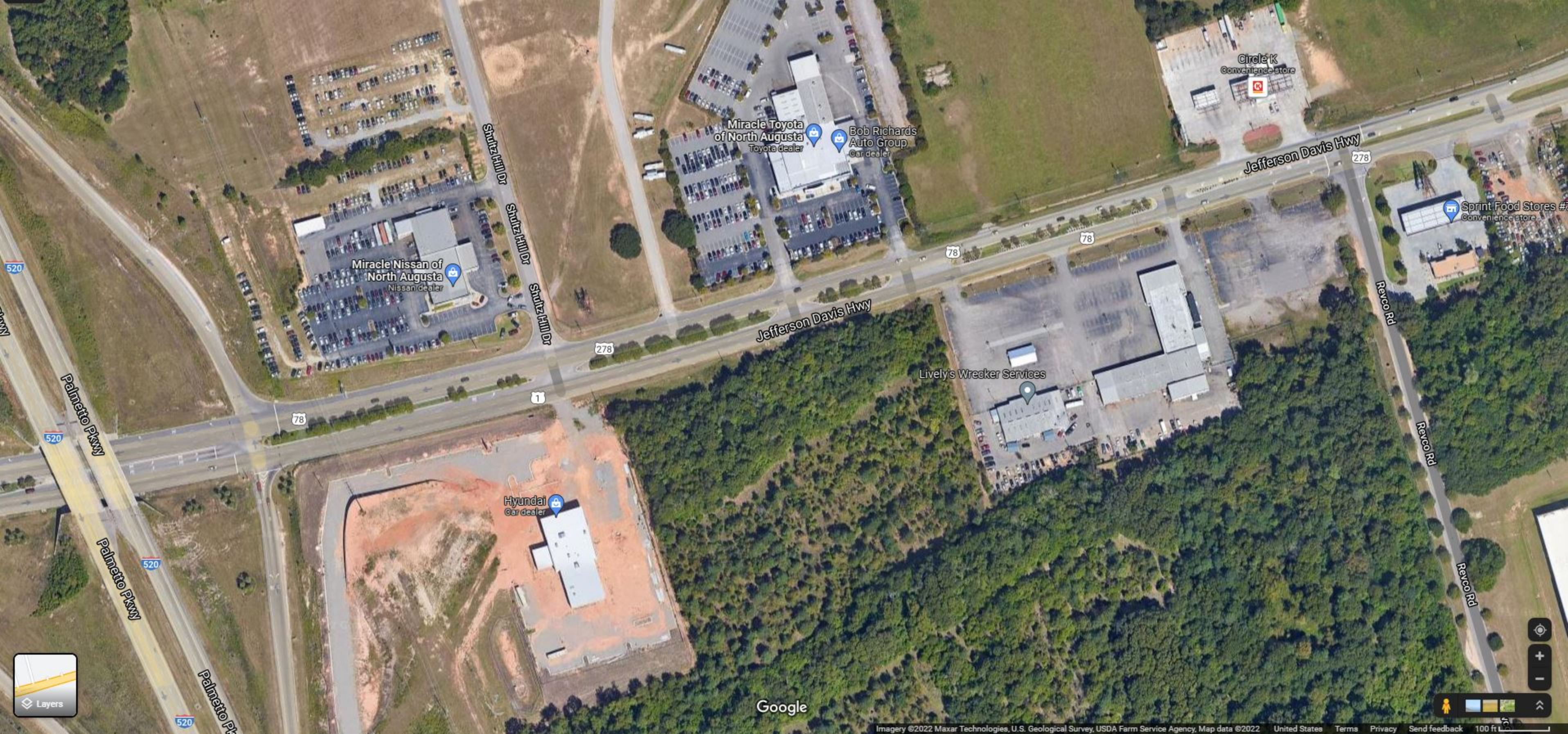
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WWW.THEJLGROUP.COM

CLIENT: **AMTJ LAND COMPANY, LLC**
5131 STREAMCREEK WAY, FAIRVIEW, TX 75069
PROJECT NAME: **HYUNDAI CARS OF NORTH AUGUSTA**
PROJECT LOCATION: **5499 JEFFERSON DAVIS HWY, BEECH ISLAND, SC 29842**

REV	DATE	BY	DESCRIPTION
2	06/05/18	JDP	ISSUED FOR PERMIT & CONSTRUCTION
1	05/18/18	JDP	ISSUED FOR PERMIT & CONSTRUCTION
0	05/09/18	JDP	ISSUED FOR PERMIT & CONSTRUCTION

PROJECT NO. 5065.1701
DRAWN BY: ZKD
CHECKED BY: EDH
DATE: 01/12/18
SHEET TITLE: **LANDSCAPE PLAN SHT. 2 OF 2**
SCALE: 1"=30'
DRAWING NO. **L-102** REV. **2**

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Miracle Nissan of North Augusta
Nissan dealer

Miracle Toyota of North Augusta
Toyota dealer

Bob Richards Auto Group
Car dealer

Circle K
Convenience store

Sprint Food Stores #
Convenience store

Lively's Wrecker Services

Hyundai
Car dealer

520

78

278

78

78

278

Palmetto Pkwy

Palmetto Pkwy

Palmetto Pkwy

Stutz Hill Dr

Stutz Hill Dr

Stutz Hill Dr

Jefferson Davis Hwy

Jefferson Davis Hwy

Revco Rd

Revco Rd

Revco Rd

Google

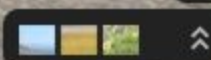


5590 US-1

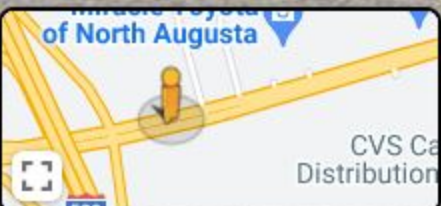
Beech Island, South Carolina

Google

Street View - Aug 2019



Google

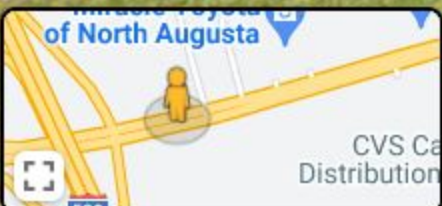


5590 US-1

Beech Island, South Carolina



Street View - Aug 2019



Google

5512 Jefferson Davis Hwy

Beech Island, South Carolina



Google

Street View - Aug 2019



Google



5512 Jefferson Davis Hwy

Beech Island, South Carolina

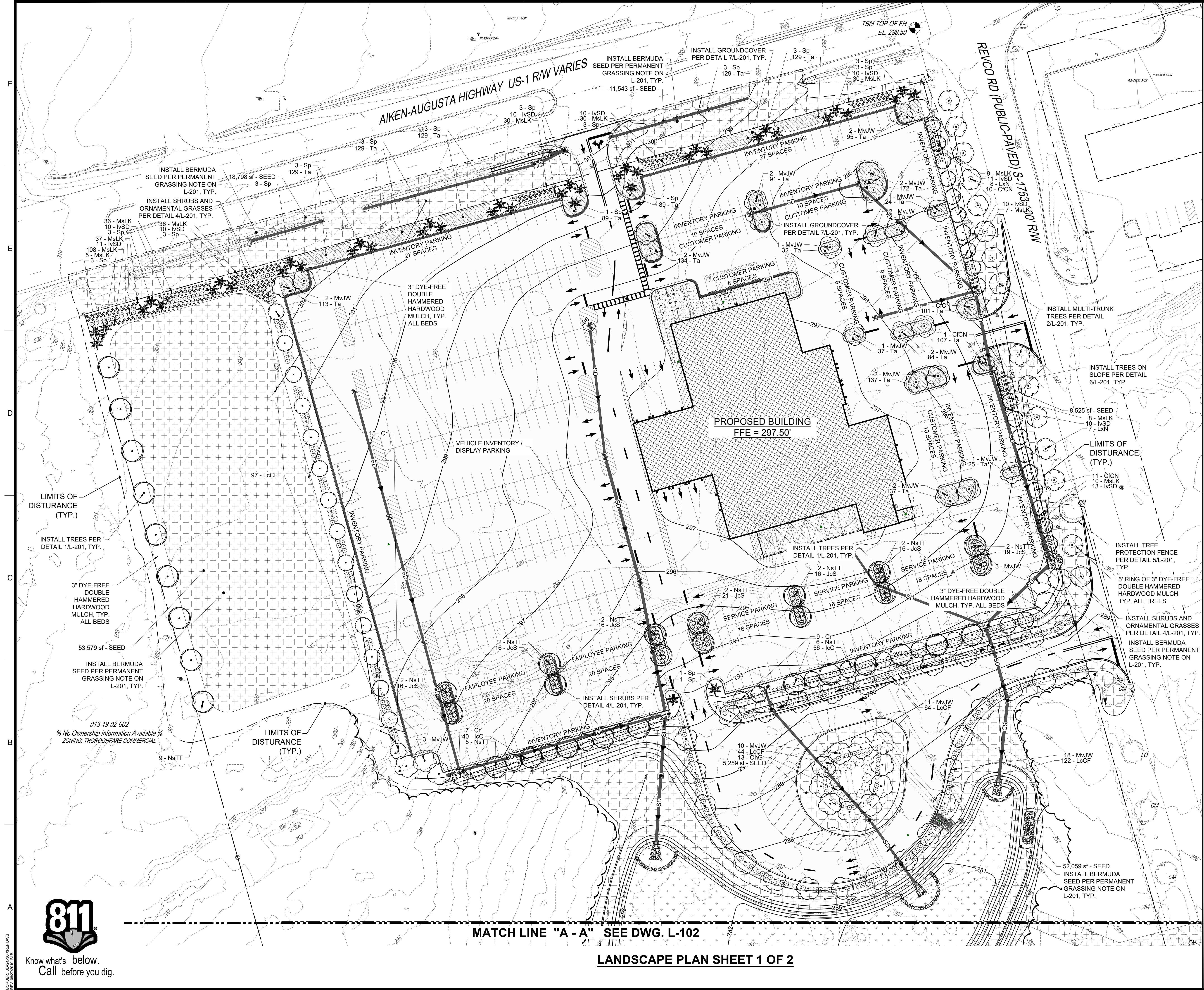


Street View - Aug 2019



Google





PARKING CALCULATIONS

PER NORTH AUGUSTA DEVELOPMENT CODE TABLE 12-1, USE 3.18
 MINIMUM NUMBER OF VEHICLE SPACES IS 1 / 500 SF
 MAXIMUM NUMBER OF VEHICLE SPACES IS 1 / 375 SF

BUILDING SF IS 44,332 (33,440 FIRST FLOOR, 10,892 SECOND FLOOR)

44,332 / 500 = 89 SPACES MINIMUM
 44,332 / 375 = 119 SPACES MAXIMUM

55 CUSTOMER PARKING SPACES
 40 EMPLOYEE PARKING SPACES

CUSTOMER AND EMPLOYEE SPACES TOTAL 95

ADDITIONAL SPACES NOT COUNTING TOWARDS CODE REQUIREMENT
 52 SERVICE PARKING SPACES
 500 INVENTORY PARKING SPACES

INTERIOR PARKING ISLAND NOTE

CUSTOMER, EMPLOYEE, AND SERVICE SPACES HAVE PLANTING ISLANDS. INVENTORY SPACES DO NOT HAVE PARKING ISLANDS. SINCE THIS IS A DEALERSHIP THE BUSINESS NEEDS SUFFICIENT SPACE FOR INVENTORY AND HAVING PLANTING ISLANDS WITHIN THE INVENTORY PARKING IS NOT FEASIBLE FOR THE OWNER TO MAXIMIZE INVENTORY.

OPEN SPACE CALCULATIONS

PER NADC TABLE 11-1 FOR RETAIL AND SERVICE USES, 92 SF OF OPEN SPACE SHALL BE PROVIDED PER 1,000 SF OF NONRESIDENTIAL SPACE DEVELOPED

SITE AREA: 720,403 SF (16.538 ACRES)
 DEVELOPED AREA: 321,912 SF (7.39 ACRES)

321,912 X 92 = 29,615,904
 29,615,904 SF / 1,000 =

29,616 SF OPEN SPACE REQUIRED (0.68 ACRES)

ALLOWED TYPES OF OPEN SPACE
 336 SF CLOSE (SERVICE ENTRY TRAFFIC CIRCLE)
 109,886 SF GREEN (BUFFERS BETWEEN PARKING LOT AND ROAD R/W, LANDSCAPED AREAS AND LAWN AROUND REAR AND SIDE PARKING LOT CURB)
 110,222 TOTAL ALLOWABLE USE OPEN SPACE PROVIDED (2.53 ACRES)

OTHER OPEN SPACE PROVIDED
 280,102 SF NATURAL AREA (UNDISTURBED AREAS AND/OR OPEN AREAS SOUTH OF THE DEVELOPED AREA)

390,324 SF TOTAL OPEN SPACE PROVIDED (8.96 ACRES)

CLIENT: S & H ENTERPRISES
 1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29629

PROJECT NAME: NEW KIA DEALERSHIP

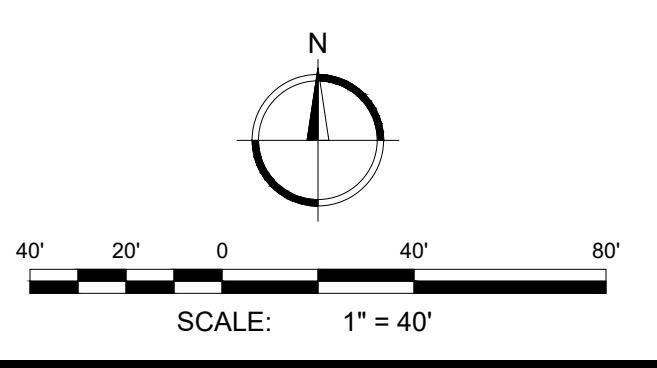
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

REV	DATE	BY	DESCRIPTION
C	01/31/22	WTB	ISSUED FOR VARIANCE REQUEST
B	01/12/22	WTB	REVISED PER NA REVIEW COMMENTS & SCDDT SUBMITTA
A	10/28/21	WTB	ISSUE FOR REVIEW AND COMMENT

PROJECT NO. 6248.2101
 DRAWN BY: AWR
 CHECKED BY: WTB
 DATE: 05/04/2021

SHEET TITLE:
LANDSCAPE PLAN SHEET 1 OF 2

SCALE: 1" = 40'
 DRAWING NO. **L-101** REV. **C**



MATCH LINE "A - A" SEE DWG. L-102

LANDSCAPE PLAN SHEET 1 OF 2

MATCH LINE "A - A" - SEE DWG. L-101

LANDSCAPE PLAN SHEET 2 OF 2

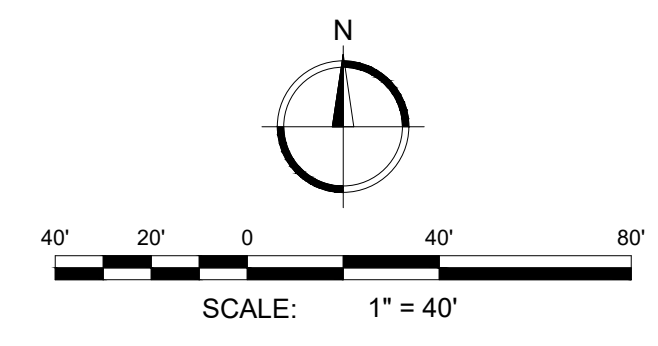
ZONING: INDUSTRIAL

LIMITS OF DISTURANCE (TYP.)

STORMWATER MANAGEMENT AREA

52,059 sf - SEED
INSTALL BERMUDA
SEED PER PERMANENT
GRASSING NOTE ON
L-201, TYP.

42,310 sf - BASIN
INSTALL DETENTION
BASIN GRASS FLOOR
MIX PER NOTE ON L-201



PLANT SCHEDULE

CONTRACTOR RESPONSIBLE FOR THEIR OWN QUANTITY TAKE-OFFS

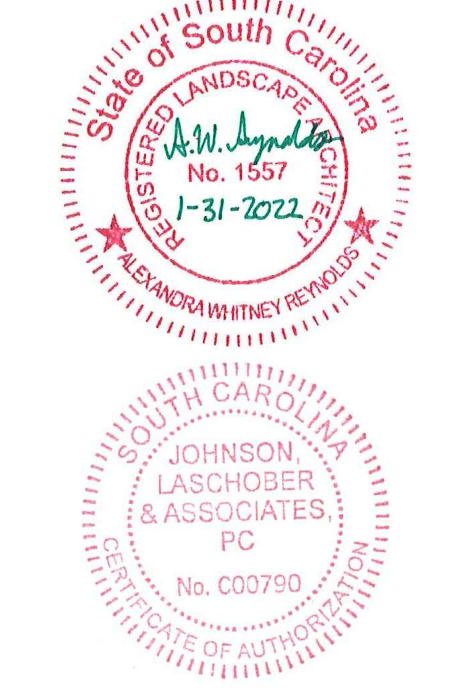
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Cr	Chionanthus retusus	Chinese Fringe Tree	6-8'	B&B	31	
	CfCN	Cornus florida 'Cloud Nine'	Cloud Nine Dogwood	2" Cal.	B&B	23	
	LxN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle Multi-Trunk	8-10'	B&B	15	MULTI-TRUNK
	MvJW	Magnolia virginiana 'Jim Wilson' TM	Moonglow Sweetbay Magnolia	2" Cal.	B&B	67	SINGLE STEM
	NsTT	Nyssa sylvatica 'WFH1' TM	Tupelo Tower Sour Gum	2" Cal.	B&B	34	
	Sp	Sabal palmetto	Cabbage Palmetto	8-10'	B&B	43	SINGLE STEM
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	lcC	Ilex cornuta 'Carissa'	Carissa Chinese Holly	3 gal.	Pot	96	4' OC
	lvSD	Ilex vomitoria 'Stokes Dwarf'	Stokes Dwarf Yaupon Holly	3 gal.	Pot	105	4' OC
	JcS	Juniperus chinensis 'Sargentii'	Sargent Juniper	1 gal.	Pot	120	4' OC
	LcCF	Loropetalum chinense 'Crimson Fire'	Chinese Fringe Flower	3 gal.	Pot	327	4' OC
	MsLK	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1' Ht.	Pot	346	4' OC
	OHG	Osmanthus heterophyllus 'Gulf tide'	Gulf tide Osmanthus	4-6' H	B&B	13	8' OC
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	SEED	Cynodon dactylon x transvaalensis	Hybrid Bermudagrass	seed	N/A	149,763 sf	
	BASIN	Detention Basin Floor Grass Mix	Basin Floor Grass Mix	seed	N/A	42,310 sf	SEE DET. BASIN FLOOR GRASS MIX NOTE
	Ta	Trachelospermum asiaticum	Asiatic Jasmine	4"	Pot	2,184	2' OC

NOTE: THE LANDSCAPE ARCHITECT HAS SELECTED PLANT VARIETIES THAT ATTAIN SPECIFIC SIZES. ANY PROPOSED SUBSTITUTIONS TO THE PLANT SCHEDULE DUE TO AVAILABLE SUPPLY MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.



CLIENT: S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
PROJECT NAME: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

NEW KIA DEALERSHIP



REV	DATE	BY	DESCRIPTION
C	01/31/22	WTB	ISSUED FOR VARIANCE REQUEST
B	01/12/22	WTB	REVISED PER NA REVIEW COMMENTS & SCDOT SUBMITTA
A	10/28/21	WTB	ISSUE FOR REVIEW AND COMMENT

PROJECT NO. 6248.2101
DRAWN BY: AWR
CHECKED BY: WTB
DATE: 05/04/2021

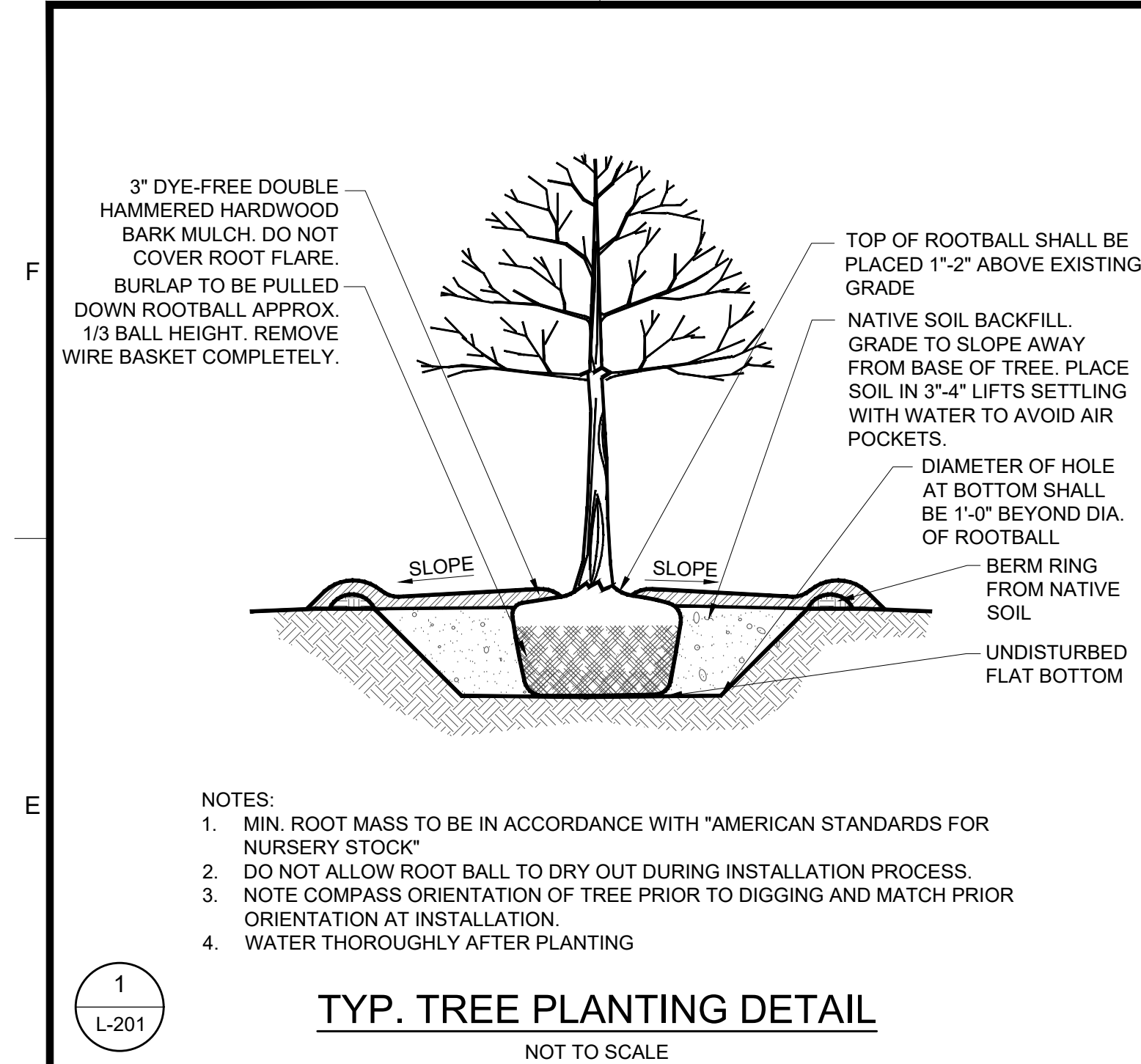
SHEET TITLE:
LANDSCAPE PLAN SHEET 2 OF 2

SCALE: 1" = 40'
DRAWING NO. **L-102** REV. **C**



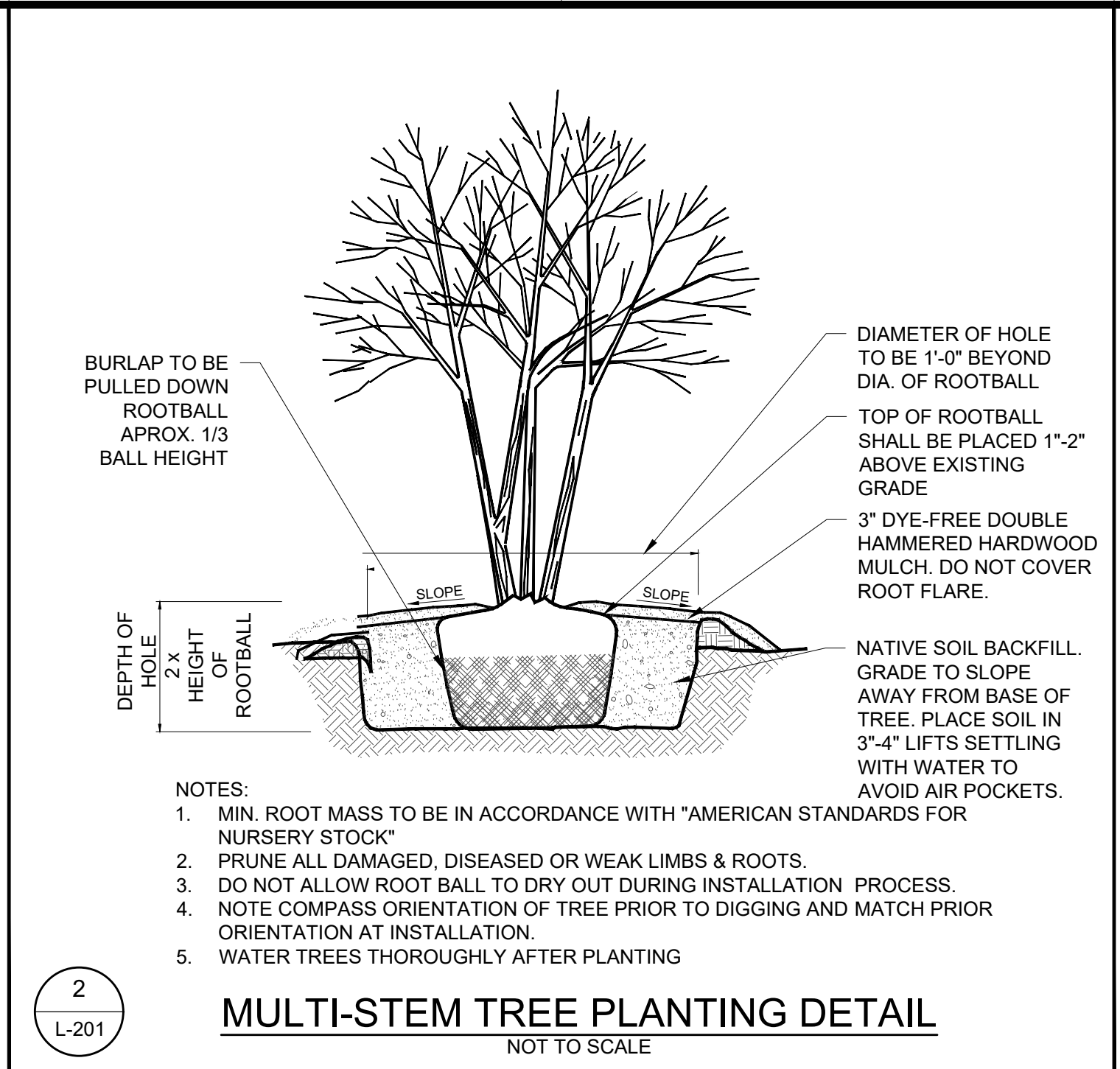
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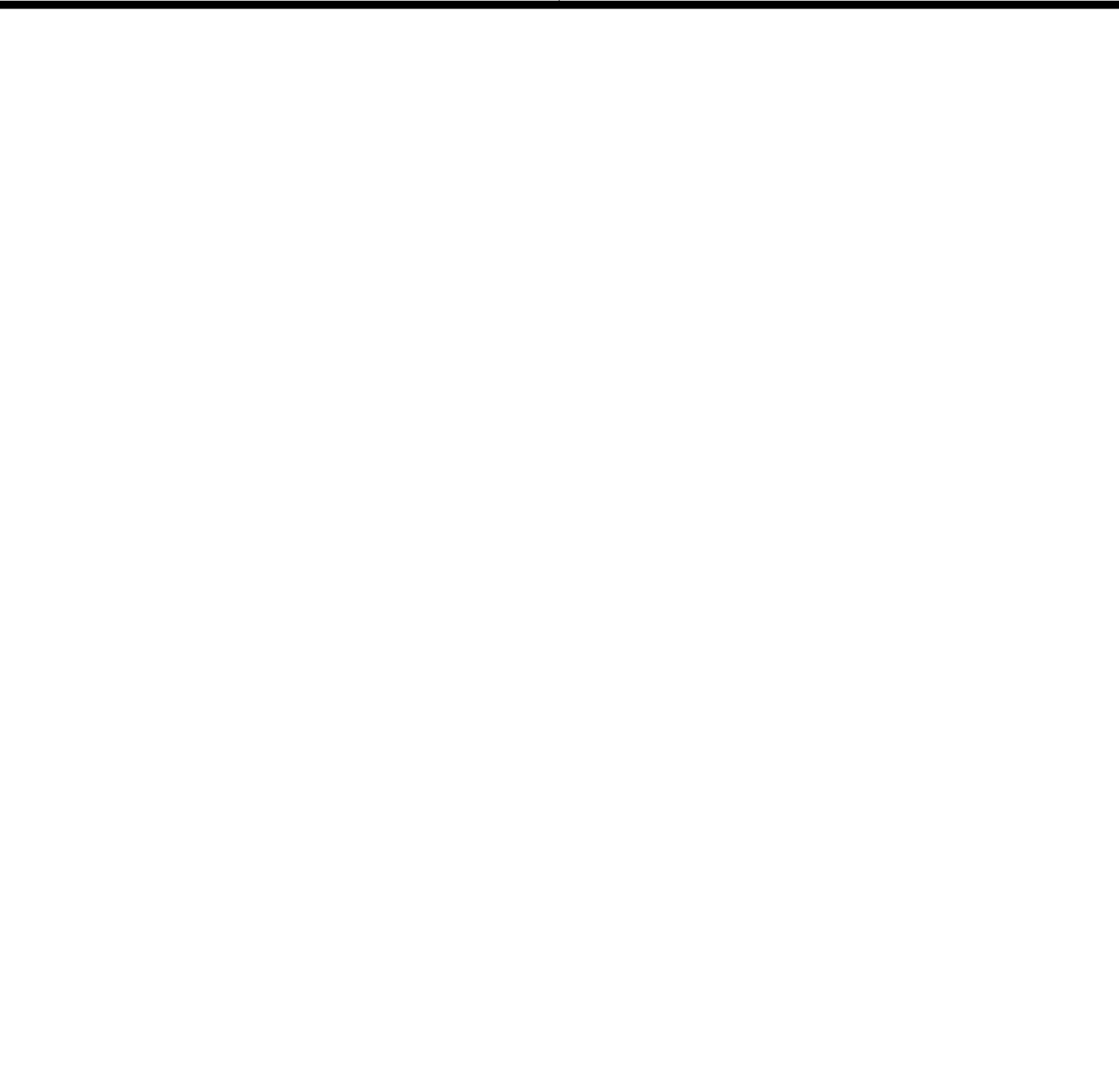
- NOTES:
- MIN. ROOT MASS TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK"
 - DO NOT ALLOW ROOT BALL TO DRY OUT DURING INSTALLATION PROCESS.
 - NOTE COMPASS ORIENTATION OF TREE PRIOR TO DIGGING AND MATCH PRIOR ORIENTATION AT INSTALLATION.
 - WATER THOROUGHLY AFTER PLANTING

TYP. TREE PLANTING DETAIL
NOT TO SCALE



- NOTES:
- MIN. ROOT MASS TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK"
 - PRUNE ALL DAMAGED, DISEASED OR WEAK LIMBS & ROOTS.
 - DO NOT ALLOW ROOT BALL TO DRY OUT DURING INSTALLATION PROCESS.
 - NOTE COMPASS ORIENTATION OF TREE PRIOR TO DIGGING AND MATCH PRIOR ORIENTATION AT INSTALLATION.
 - WATER TREES THOROUGHLY AFTER PLANTING

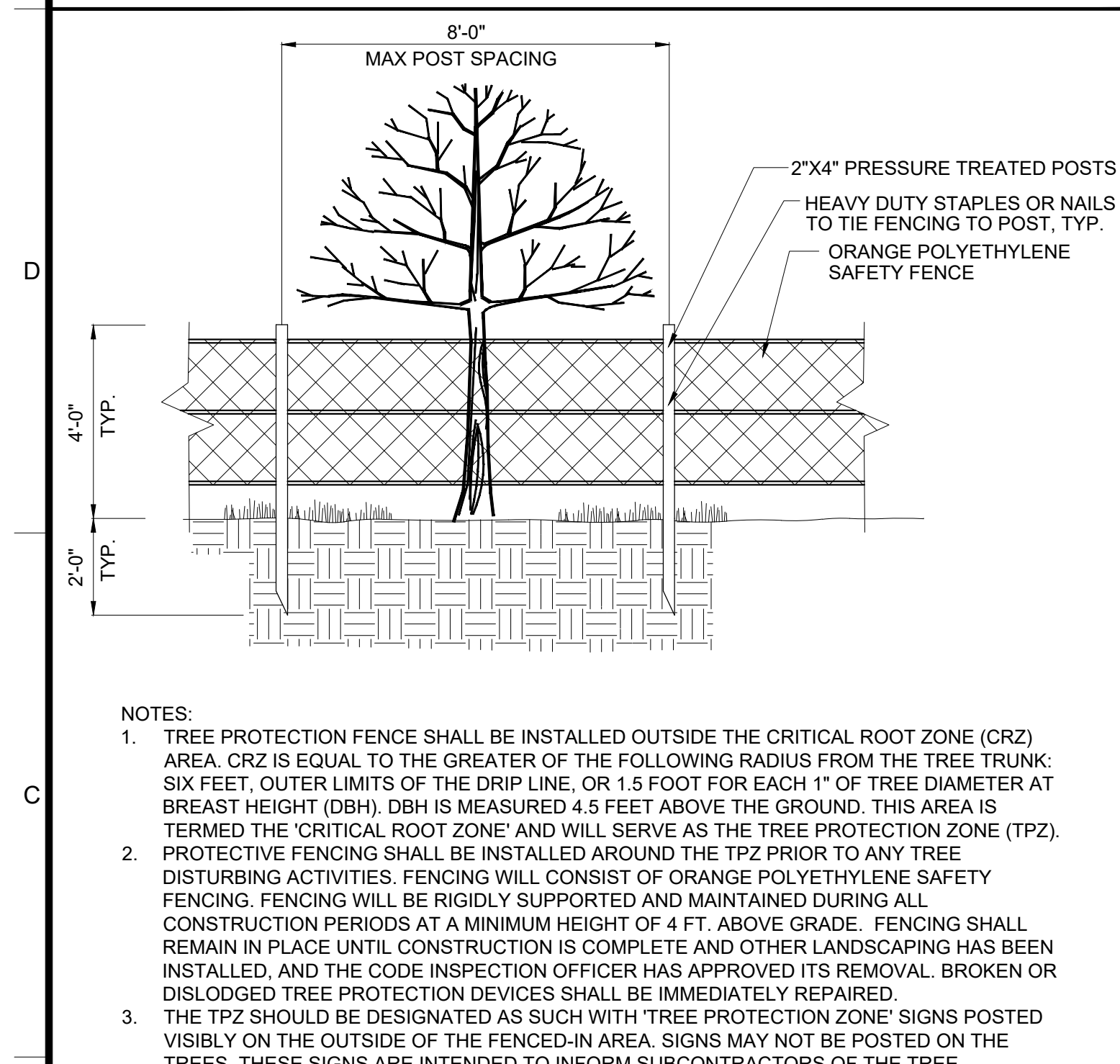
MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE



- TYPICAL BED LAYOUT:
- LAY OUT PERIMETER PLANTING SPACED AS PER PLAN.
 - FILL IN PLANTING BED WITH TRIANGULAR SPACING. ADJUST AS PER L.A.'S INSTRUCTIONS.

- NOTES:
- VERIFY FINISH GRADE ELEVATION. PLANT TOP OF ROOTBALL AT FINISH GRADE.
 - REMOVE BURLAP FROM TOP 1/3 OF BALL. REMOVE CONTAINER PLANTS FROM CONTAINERS AND CUT ANY CIRCLING ROOTS.

SHRUB AND ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE

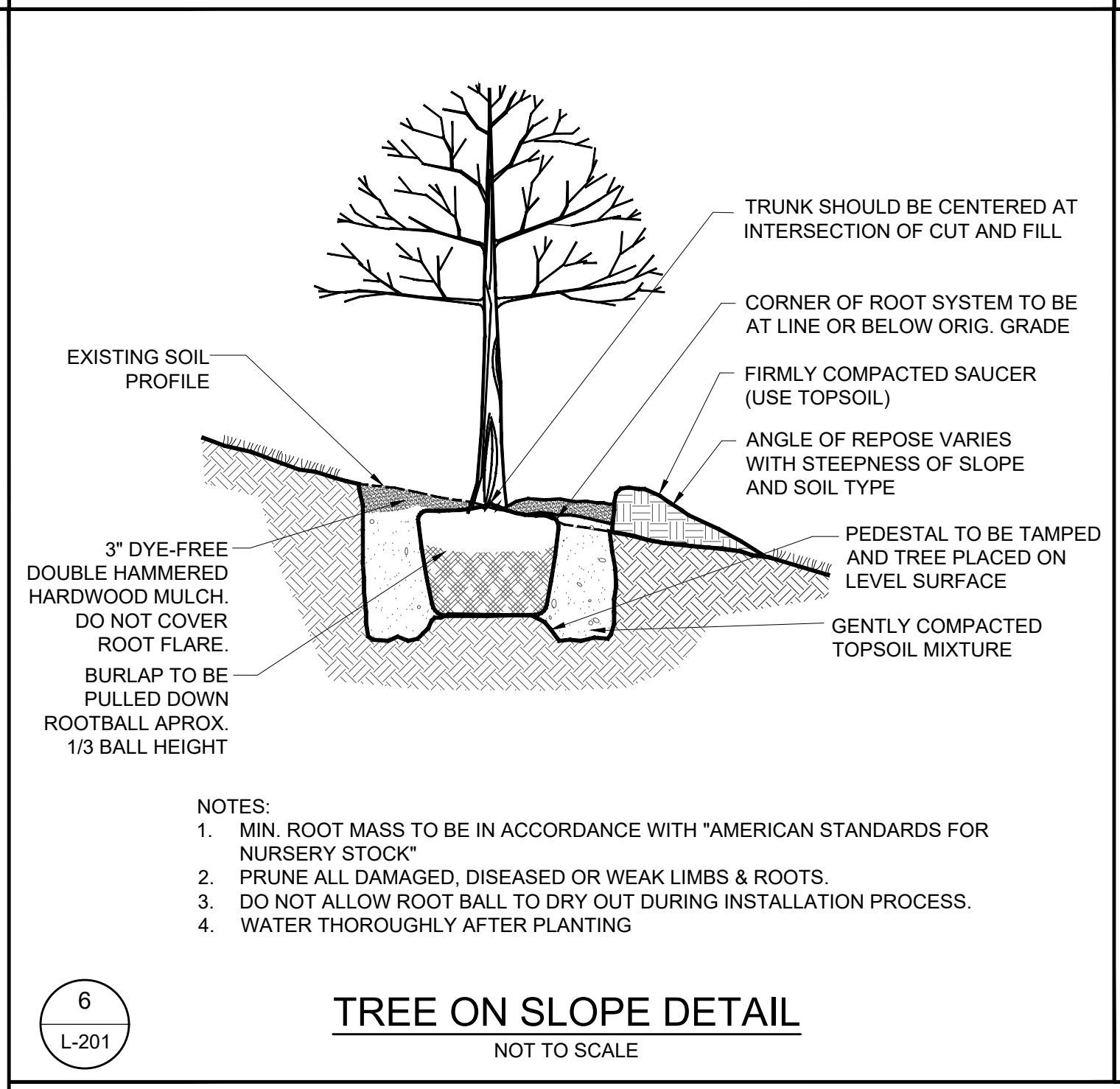


- NOTES:
- TREE PROTECTION FENCE SHALL BE INSTALLED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) AREA. CRZ IS EQUAL TO THE GREATER OF THE FOLLOWING RADIUS FROM THE TREE TRUNK: SIX FEET, OUTER LIMITS OF THE DRIP LINE, OR 1.5 FOOT FOR EACH 1" OF TREE DIAMETER AT BREAST HEIGHT (DBH). DBH IS MEASURED 4.5 FEET ABOVE THE GROUND. THIS AREA IS TERMED THE 'CRITICAL ROOT ZONE' AND WILL SERVE AS THE TREE PROTECTION ZONE (TPZ).
 - PROTECTIVE FENCING SHALL BE INSTALLED AROUND THE TPZ PRIOR TO ANY TREE DISTURBING ACTIVITIES. FENCING WILL CONSIST OF ORANGE POLYETHYLENE SAFETY FENCING. FENCING WILL BE RIGIDLY SUPPORTED AND MAINTAINED DURING ALL CONSTRUCTION PERIODS AT A MINIMUM HEIGHT OF 4 FT. ABOVE GRADE. FENCING SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND OTHER LANDSCAPING HAS BEEN INSTALLED. AND THE CODE INSPECTION OFFICER HAS APPROVED ITS REMOVAL. BROKEN OR DISLODGED TREE PROTECTION DEVICES SHALL BE IMMEDIATELY REPAIRED.
 - THE TPZ SHOULD BE DESIGNATED AS SUCH WITH 'TREE PROTECTION ZONE' SIGNS POSTED VISIBLY ON THE OUTSIDE OF THE FENCED-IN AREA. SIGNS MAY NOT BE POSTED ON THE TREES. THESE SIGNS ARE INTENDED TO INFORM SUBCONTRACTORS OF THE TREE PROTECTION PROCESS.
 - CONSTRUCTION SITE ACTIVITIES SUCH AS PARKING, MATERIAL STORAGE, DIRT STOCKPILING, CONCRETE WASHOUT AND OTHER SIMILAR ACTIVITIES SHALL NOT BE PERMITTED WITHIN THE TPZ.
 - CHANGES THAT SIGNIFICANTLY RAISE THE GRADE OF SOIL ADJACENT TO THE TPZ SHALL BE AVOIDED.
 - UTILITY LINE TRENCHES AND SIMILAR USES SHALL AVOID THE TPZ. DUE TO CERTAIN SITE CONDITIONS, WHERE DISTURBANCE WITHIN THE TPZ IS UNAVOIDABLE, UNDERGROUND TUNNELING OR DIRECTIONAL BORING OF UTILITIES IS PREFERRED. TRENCHING SHALL BE USED ONLY AS THE LAST ALTERNATIVE AND ROOT-PRUNING EQUIPMENT SPECIFICALLY DESIGNED FOR THAT PURPOSE SHALL BE USED. THE CODE INSPECTION OFFICER SHALL BE NOTIFIED PRIOR TO THIS TYPE OF ACTIVITY AND AN ON-SITE MEETING SHALL BE PERFORMED TO ENSURE COMPLIANCE.

TREE PROTECTION FENCE DETAIL
NOT TO SCALE

PLANTING SOIL MIX NOTE

- PLANTING SOIL SHALL BE A MIXTURE OF APPROVED TOPSOIL, SAND, AND ORGANIC MATERIAL MIXED TO MEET THE FOLLOWING SPECIFICATION.
 - PARTICLE SIZE DISTRIBUTION ACCORDING TO U.S.D.A. PARTICLE CLASSIFICATIONS:
- | PARTICLE | SIZE (MM) | ALLOWABLE LIMIT |
|------------------|------------|-----------------|
| GRAVEL | >4.75 | MAX. 3% |
| FINE GRAVEL | 2.00-4.75 | MAX. 10% |
| VERY COARSE SAND | 1.00-2.00 | COMBINED |
| COARSE SAND+ | 0.50-1.00 | |
| MEDIUM SAND | 0.25-0.50 | 50-75% |
| FINE SAND | 0.10-0.25 | 5-15% |
| VERY FINE SAND | 0.05-0.10 | 0-10% |
| SILT | 0.002-0.05 | 10-20% |
| CLAY | <0.002 | 10-20% |
- THE U.S.D.A. SOIL TEXTURE CLASS SHALL BE A SANDY LOAM, WITH NO MORE THAN 75% SAND AND NO MORE THAN 35% COMBINED SILT+CLAY.
 - THE ORGANIC MATTER SHALL BE 5-8%.
 - DEPTH OF MIX AS INDICATED ON DRAWINGS.

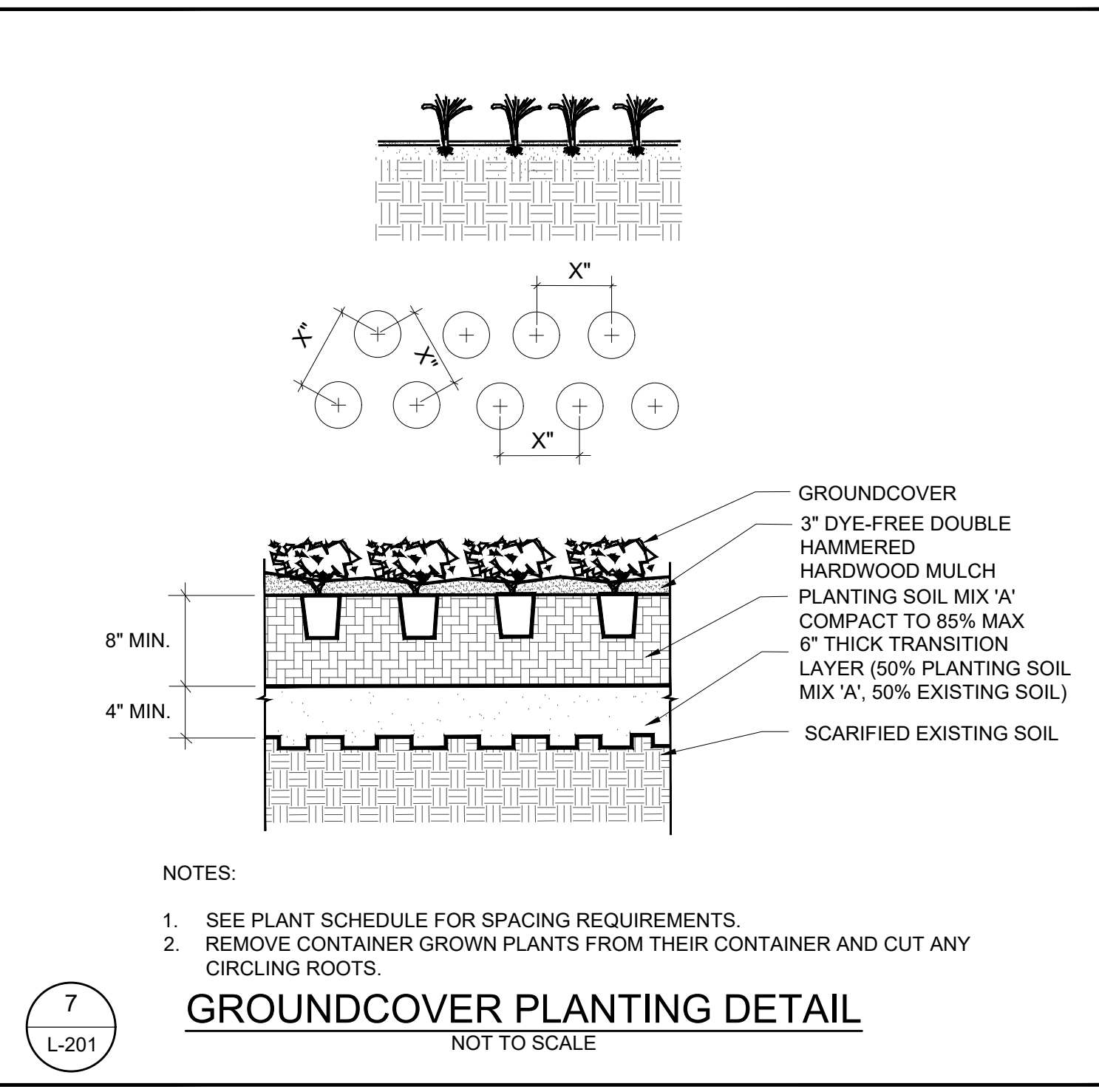


- NOTES:
- MIN. ROOT MASS TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK"
 - PRUNE ALL DAMAGED, DISEASED OR WEAK LIMBS & ROOTS.
 - DO NOT ALLOW ROOT BALL TO DRY OUT DURING INSTALLATION PROCESS.
 - WATER THOROUGHLY AFTER PLANTING

TREE ON SLOPE DETAIL
NOT TO SCALE

LANDSCAPE INSTALLATION NOTES:

- THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETIC OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. PRIOR TO PLANTING, THE LOCATION OF TREES SHALL BE STAKED AND ALL PLANT MATERIAL SHALL BE INSPECTED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR EQUAL. NO PLANT MATERIAL WILL BE ACCEPTED IF IT IS DAMAGED, DISEASED OR INADEQUATE IN SIZE AS SPECIFIED ON PLANS. SUBSTITUTIONS DUE TO AVAILABILITY MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE OUT ANY TALL SHOOT, DEAD WOOD OR SUCKERS.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE FERTILIZER, PRE-EMERGENT HERBICIDE, LIME, TOPSOIL AND PLANTING MIXTURE AS PER THE PLANTING SOIL MIX NOTE.
- BEDLINES SHALL HAVE A 3" DEEP SHOVEL CUT TRENCH EDGE WHERE MULCH MEETS GRASS, CONCRETE WALKS OR CURBS UNLESS OTHERWISE SPECIFIED. BEDLINES SHALL BE SMOOTH AND CONTINUOUS AND BE WITHIN A REASONABLE LOCATION AND SHAPE AS ILLUSTRATED ON PLANS.
- ALL PLANTING AREAS SHOULD HAVE POSITIVE DRAINAGE TO DISCOURAGE SATURATED ROOT SYSTEMS.
- PLACE 3" OF DYE-FREE DOUBLE HAMMERED HARDWOOD MULCH OVER ALL PLANTING BEDS; TUCK MULCH UNDER PLANTS AND INTO BEDLINE TRENCHES PER PLAN SPECIFICATIONS. DO NOT COVER ROOT FLARES WITH MULCH.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CLEAN UP OF ALL CONTAINERS, PLANT TAGS AND BRIBONS, PALLETS, DEBRIS, ETC. RESULTING FROM HIS OR HER WORK.
- ALL MULCH RINGS SHALL BE 6" DIAMETER.
- ALL AREAS TO BE GRASSED SHALL BE SEEDED OR SODDED PER THE PLANT SCHEDULE AND THE PERMANENT GRASSING NOTE.



- NOTES:
- SEE PLANT SCHEDULE FOR SPACING REQUIREMENTS.
 - REMOVE CONTAINER GROWN PLANTS FROM THEIR CONTAINER AND CUT ANY CIRCLING ROOTS.

GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

IRRIGATION SPECIFICATIONS:

- CONTRACTOR SHALL DESIGN AND INSTALL AN IRRIGATION SYSTEM FOR 100% COVERAGE OF ALL NEW TREES, SHRUBS AND GRASS WITHIN THE IRRIGATION LIMITS. A SHOP DRAWING OF THE PROPOSED SYSTEM LAYOUT AND PROPOSED EQUIPMENT SCHEDULE MUST BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL IRRIGATION EQUIPMENT SHALL BE MANUFACTURED BY RAINBIRD INC. OR APPROVED EQUAL.
- CONTRACTOR SHALL FIELD VERIFY EXISTING WATER PRESSURE AND AVAILABLE VOLUME FOR MINIMUM MANUFACTURED SPECIFIED WORKING PRESSURE BEFORE WORKING IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUPPLY POWER TO CONTROLLER UTILIZING NEAREST EXISTING POWER SUPPLY. CONTRACTOR SHALL CONSULT WITH OWNER AS TO THE LOCATION AND PLACEMENT OF THE CONTROLLER.
- CONTRACTOR WILL INSTALL HEADS AND NOZZLES THAT WILL LIMIT THE AMOUNT OF WATER THROWN ON IMPERVIOUS SURFACES AND STILL MAINTAIN 100% COVERAGE OF PLANTED AREAS WITHIN THE IRRIGATION LIMITS. WATER OVERSPRAY ONTO IMPERVIOUS SURFACES MUST BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE. IRRIGATION WATER MUST BE DIRECTED AWAY FROM BUILDINGS & OTHER STRUCTURES.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE IRRIGATION INSTALLATION BEGINS.
- NO IRRIGATION WATER SHALL BE THROWN ON BUILDING MASONRY. NO FUNNY PIPE OR OTHER FLEXIBLE PIPE CAN BE USED FOR SUPPLY OR FEEDER LINES. NO STATIONARY RISERS CAN BE USED.
- ALL PLASTIC PIPE FROM SIZES 4" AND ABOVE SHALL BE CLASS 200, SDR 21, UNPLASTICIZED RIGID PVC PIPE WITH INTEGRAL BELL AND RUBBER RING GASKET UNLESS OTHERWISE SPECIFIED. PIPE FROM SIZES 3" TO 3 1/2" SHALL BE CLASS 200, SOLVENT WELD, PVC PIPE. 1/2" PIPE SHALL BE CLASS 200, SOLVENT WELD, PVC PIPE. ALL PIPE SHALL BE SUPPLIED IN 20' STANDARD LENGTHS AND SHALL BE MANUFACTURED BY CERTAINTED CORP., CRESTLINE, DURA, OR EQUAL. ALL PIPE THAT IS EXPOSED OR NOT BELOW GRADE SHALL BE SCHEDULE 80 PVC.
- ALL IN-GROUND WIRE CONNECTIONS MUST BE MADE WITH 3M-DBY WIRE CONNECTIONS OR APPROVED EQUAL.
- CONTROLLER SHALL BE BY RAIN BIRD OR APPROVED EQUAL. CONTROLLER SHALL INCLUDE RAIN SENSOR. CONTROLLER SHALL BE WEATHER TIGHT CONSTRUCTION.
- ALL CONTROL VALVES MUST BE BRASS OR SCHD. 80 PVC WITH A SCHD. 80 ISOLATION VALVE AT EACH CONTROL VALVE.
- VALVES IN BOXES MUST BE EASILY ACCESSIBLE AND INSTALLED WITH 8" DRAINAGE ROCK IN BOTTOM.
- ALL VALVE BOXES SHALL BE SET LEVEL WITH FINISHED GRADE.

TREE SELECTION NOTES:

- TREES SHALL BE 10' MINIMUM HEIGHT AND 3" MINIMUM CALIPER
- TREE SHOULD BE UNWRAPPED FOR EXAMINATION. STEMS SHOULD BE WRAPPED FOR SHIPMENT AND INSTALLATION. REMOVE WRAP PROMPTLY.
- TREE SHOULD HAVE BEEN PROPERLY TARGET PRUNED - NEVER FLUSH CUT, TRIMMED, ROUNDED-OVER, HEGGED, TIPPED OR TOPPED.
- TREE SHOULD BE FULLY OPEN-GROWN FOR WIND-FIRMNESS.
- TREE SHOULD HAVE A ROOT BALL SIZE THAT MINIMALLY MEETS NURSERY STANDARDS. STRIVE FOR A ROOT BALL AT 150% OF STANDARD ROOT BALL SIZE. ROOT BALL SHOULD BE LIFTED AND CONTAINED TO MINIMIZE AIR EXPOSURE AND ROOT DAMAGE.
- TREE SHOULD HAVE BEEN ROOT PRUNED ONE OR MORE TIMES. THE LAST ROOT PRUNING SHOULD HAVE OCCURRED AT LEAST ONE FULL GROWING SEASON BEFORE INSTALLATION.
- TREE SHOULD HAVE A GOOD CROWN SHAPE AND COLOR (IF EVERGREEN).
- TREE SHOULD BE ENTIRELY FREE FROM PEST SIGNS AND SYMPTOMS.
- TREE SHOULD SHOW VIGOROUS AND SUBSTANTIAL GROWTH FOR AT LEAST THE LAST TWO GROWING SEASONS.
- TREE SHOULD BE CERTIFIED IN WRITING AS TO SCIENTIFIC NAME, VARIETY, AND/OR CULTIVAR NAME.
- TREE SHOULD HAVE A SINGLE DOMINANT LEADER WITH NO SIDE BRANCHES TALLER THAN THE MAIN LEADER. TREE SHOULD NOT HAVE A FLAT TOP.
- TREE SHOULD HAVE APPROXIMATELY TWO-THIRDS OF ITS HEIGHT IN LIVING BRANCHES.
- TREE SHOULD HAVE BRANCHES DISTRIBUTED ALONG THE STEM IN AN ALTERNATING PATTERN AND NOT OCCURRING HORIZONTALLY OPPOSITE EACH OTHER ACROSS THE STEM.
- TREE SHOULD HAVE NO BASAL, STEM OR MAIN ROOT BASE SCARS.
- TREE SHOULD HAVE NO STUB OR TIP CUTTING WOUNDS.
- TREE SHOULD NOT HAVE ANY VISIBLE BRANCH STUBS OR INTERNODAL CUTS PRESENT.
- TREE SHOULD HAVE NO FORKS OR DEAD LEADERS EVEN ON OPPOSITE BRANCHING SPECIES.
- TREE SHOULD HAVE NO BARK DAMAGE.
- TREE SHOULD NOT HAVE BEEN STAKED IN THE NURSERY.
- TREE SHOULD NOT HAVE BEEN TREATED AT ANY TIME WITH WOUND PAINT.
- TREES SHOULD NOT HAVE ALL BRANCHES GROWING FROM A SINGLE AREA ON THE STEM (CLUSTERED OR CROWNED). TREES WITH BRANCHES NORMALLY GROWING IN WHORLS SHOULD HAVE ONLY 3-4 BRANCHES PER WHORL.
- TREE SHOULD NOT APPEAR "LEGGY" OR EXCESSIVELY SLENDER. TREE MUST STAND ON ITS OWN AND RESIST WIND DEFLECTION.
- TREE SHOULD HAVE NO NARROW CROTCHES WITH INCLUDED BARK.
- TREE SHOULD HAVE NO SIDE BRANCHES TALLER THAN THE MAIN LEADER.
- TREE SHOULD NOT BE LEANING OR HAVE SIGNIFICANT SWEEP, CROOK OR BEND.
- TREE SHOULD HAVE NO BRANCH MORE THAN ONE-HALF THE DIAMETER OF THE MAIN LEADER.
- TREE SHOULD NOT HAVE BASAL SPROUTS OR FIRST-YEAR STEM SPROUTS.
- TREE SHOULD NOT HAVE SPROUTS FROM AROUND WOUND AREAS OR BRANCH BASES.
- TREE SHOULD NOT HAVE VERTICAL CRACK CLOSURES OVER OLD WOUNDS. PROPER PRUNING WOUND CLOSURES SHOULD BE CIRCULAR.
- TREE SHOULD NOT HAVE BRANCHES THAT CROSSOVER EACH OTHER OR RUB AGAINST EACH OTHER.
- TREE SHOULD NOT HAVE BRANCHES GROWING UPWARD INSIDE THE CROWN.
- TREE SHOULD NOT HAVE LARGE ROOTS CUT CLOSE TO THE ROOT CROWN/STEM BASE.

PERMANENT GRASSING NOTE:

OTHER THAN THE DETENTION BASIN FLOOR ALL AREAS SHALL BE PERMANENTLY GRASSED WITH HYBRID BERMUDEA SEED AT A RATE OF 50 LBS PER ACRE. ALL SEEDED AREAS SHALL RECEIVE WHEAT STRAW MULCH AT 2 TONS PER ACRE. SLOPED AREAS SHALL HAVE BIODEGRADABLE EROSION CONTROL BLANKETS INSTALLED WITH SOD STAPLES OR SIMILAR FASTENING METHOD. SEE GRASSING, FERTILIZATION, AND MULCH NOTE FOR ADDITIONAL INSTRUCTIONS ON SHEET C-506 (SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS).

DETENTION BASIN FLOOR GRASS MIX

GRASS MIX:		
FESTUCA ARUNDINACEA - TALL FESCUE	.....	35%
ELYMUS VIRGINICUS - VIRGINIA WILD RYE	.....	15%
BOUTELOUA GRACILIS - BLUE GRAMA	.....	15%
ANDROPOGON GERARDII - BIG BLUESTEM	.....	10%
ANDROPOGON GLOMERATUS - WOOLLY BROOMSEDGE	.....	10%
PANICUM VIRGATUM - SWITCH GRASS	.....	10%
JUNCUS EFFUSUS - SOFT RUSH	.....	5%

- RECOMMENDED SEED SOURCES:
- ERNST CONSERVATION SEEDS - 800-873-3321
 - APPLEWOOD SEED COMPANY - 303-431-7333
 - GRANITE SEED - 801-768-4422

- NOTE:
- GRASS MIX SHALL BE SEEDED AND MULCHED AS PER SEED PRODUCER'S RECOMMENDATIONS.
 - GRASS MIX SHALL BE SEEDED AND MULCHED AS PER SEED PRODUCER'S RECOMMENDATIONS.
 - SLOPED AREAS SHALL HAVE BIODEGRADABLE EROSION CONTROL BLANKETS INSTALLED USING SOD STAPLES OR SIMILAR FASTENING METHOD.
 - POND GRASSING WILL BE ACCEPTED WHEN A 90% COVER BY PERMANENT GRASSING IS OBTAINED AND WEEDS ARE NOT DOMINANT.
 - CONTRACTOR SHALL FERTILIZE POND GRASSING AS PER SEED PRODUCER'S RECOMMENDATIONS.

CLIENT: 1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829
PROJECT NAME: NEW KIA DEALERSHIP
PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

REV	DATE	BY	DESCRIPTION
C	01/31/23	WTB	ISSUED FOR VARIANCE REQUEST
B	01/12/23	WTB	REVISED PER NA REVIEW COMMENTS & SCDOT SUBMITTA
A	10/28/21	WTB	ISSUE FOR REVIEW AND COMMENT

PROJECT NO. 6248.2101
DRAWN BY: AWR
CHECKED BY: WTB
DATE: 05/04/2021
SHEET TITLE: LANDSCAPE DETAILS AND SPECIFICATIONS
SCALE: NO SCALE
DRAWING NO. L-201
REV. C

LANDSCAPE REQUIREMENTS:

APPLICABLE LANDSCAPING REQUIREMENTS PER TABLE 10-1

- LANDSCAPE BUFFER
- PARKING LOT LANDSCAPE AREAS
- STREET TREES
- GENERAL LANDSCAPE AREAS

1. LANDSCAPE BUFFER REQUIREMENTS PER SEC. 10.5

PROPERTY IS LAND CLASS 3

NORTH PROPERTY LINE
802 LF, TYPE D BUFFER REQUIRED PER NADC DEC 3.8.5.8.8e
TYPE D BUFFER REQUIREMENTS:
20' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 40 LF
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
1.2 MINIMUM REQUIRED BUFFER POINTS / LF

REQUIRED ELEMENTS
802 / 40 = 21 + 1 = 22 LARGE TREES REQUIRED
802 / 40 = 21 + 1 = 22 SMALL TREES REQUIRED
802 X 1.2 = 963 BUFFER POINTS REQUIRED (254 SHRUBS)

PROVIDED ELEMENTS
22 LARGE TREES X 10 POINTS = 220 POINTS
22 SMALL TREES X 5 POINTS = 110 POINTS
254 SHRUBS X 2.5 POINTS = 635 POINTS
TOTAL BUFFER POINTS PROVIDED = 965 POINTS

SPECIFIC PROVIDED ELEMENTS:
LARGE TREES: 27 (3 + 3 + 3 + 3 + 3 + 3 Sp) (+5)
SMALL TREES: VARIANCE APPLIED FOR
SHRUBS: 265 (108 + 5 + 36 + 36 + 30 + 30 - MsLK, 10 + 10 + -lvSD (+11))
GROUNDCOVER: 645 (129 + 129 + 129 + 129 - A)

WEST PROPERTY LINE
CLASS 3 PROJECT SITE IS BESIDE CLASS 3 PROPERTY
902 LF, BUFFER TYPE A REQUIRED
TYPE A BUFFER REQUIREMENTS:
8' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 60 LF
SMALL TREES: OPTIONAL
0.2 MINIMUM REQUIRED BUFFER POINTS / LF

475 LF OF THE PROPERTY LINE IS COVERED BY AN EXISTING TREE STAND THAT WILL REMAIN. THE REMAINING 427 LF REQUIRES BUFFER PLANTINGS:
427 LF X 0.2 = 85.4 BUFFER POINTS REQUIRED
427 / 60 = 8 + 1 = 9 LARGE TREES REQUIRED

PROVIDED ELEMENTS
9 LARGE TREES (9-NsTT) x 10 POINTS = 90 POINTS
TOTAL BUFFER POINTS PROVIDED = 90 POINTS

SOUTH PROPERTY LINE
CLASS 3 PROJECT SITE IS BESIDE CLASS 4 PROPERTY
801 LF, TYPE C BUFFER REQUIRED.
TYPE C BUFFER REQUIREMENTS:
20' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 40 LF
SMALL TREES: 1 + 1 SMALL TREE / 50 LF
1.0 MINIMUM REQUIRED BUFFER POINTS / LF

ALL 801 LF OF THE PROPERTY LINE IS COVERED BY AN EXISTING TREE STAND THAT WILL REMAIN. NO ADDITIONAL LANDSCAPE IS REQUIRED.

2A. PARKING LOT LANDSCAPE AREA REQUIREMENTS PER SEC. 10.6

PERIMETER PARKING LOT LANDSCAPING PER TABLE 10-7

AREA 1: 245 LF
ADJACENT TO STREETS PERIMETER REQUIREMENTS APPLY

ADJACENT TO STREETS PERIMETER REQUIREMENTS:
15' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 60 LF
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

245 / 60 = 5 + 1 = 6 LARGE TREES REQUIRED
245 / 40 = 7 + 1 = 8 SMALL TREES REQUIRED
245 / 5 = 49 + 1 = 50 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: 6-Sp (3 + 3 Sp)
SMALL TREES: VARIANCE APPLIED FOR
SHRUBS: 58 (37-MsLK, 11 + 10-lvSD) (+8)

AREA 2: 244 LF
ADJACENT TO STREETS PERIMETER REQUIREMENTS APPLY

ADJACENT TO STREETS PERIMETER REQUIREMENTS:
15' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 60 LF
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

244 / 60 = 5 + 1 = 6 LARGE TREES REQUIRED
244 / 40 = 7 + 1 = 8 SMALL TREES REQUIRED
244 / 5 = 49 + 1 = 50 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: 6-Sp (3 + 3 Sp)
SMALL TREES: VARIANCE APPLIED FOR
SHRUBS: 50 (30 -MsLK, 10 + 10 -lvSD)

AREA 3: 172 LF
ADJACENT TO STREETS PERIMETER REQUIREMENTS APPLY

ADJACENT TO STREETS PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 60 LF
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

172 / 60 = 3 + 1 = 4 LARGE TREES REQUIRED
172 / 40 = 5 + 1 = 6 SMALL TREES REQUIRED
172 / 5 = 35 + 1 = 36 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: NONE DUE TO OVERHEAD POWERLINES (-4)
SMALL TREES: 10- C1CN (+4)
SHRUBS: 37 (9 + 7 MsLK, 11 + 10 lvSD) (+1)

AREA 4: 199 LF
ADJACENT TO STREETS PERIMETER REQUIREMENTS APPLY

ADJACENT TO STREETS PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: 1 + 1 LARGE TREE / 60 LF
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

199 / 60 = 4 + 1 = 5 LARGE TREES REQUIRED
199 / 40 = 5 + 1 = 6 SMALL TREES REQUIRED
199 / 5 = 40 + 1 = 41 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: NONE DUE TO OVERHEAD POWERLINES (-5)
SMALL TREES: 11 C1CN (+5)
SHRUBS: 41 (8 + 10 MsLK, 10 + 13 lvSD)

2A. PARKING LOT LANDSCAPE AREA REQUIREMENTS PER SEC. 10.6 CONTINUED

AREA 5: 298 LF
ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS APPLY

ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

298 / 40 = 8 + 1 = 9 SMALL TREES REQUIRED
298 / 5 = 60 + 1 = 61 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: 6-NsTT (+6)
SMALL TREES: 9 C1
SHRUBS: 58 (56 lcC) (-5)

AREA 6: 363 LF
ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS APPLY

ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

363 / 40 = 10 + 1 = 11 SMALL TREES REQUIRED
363 / 5 = 73 + 1 = 74 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: NONE
SMALL TREES: 11-MvJW
SHRUBS: 64 (64 LcCF) (-10)

AREA 7: 576 LF
ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS APPLY

ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

576 / 40 = 15 + 1 = 16 SMALL TREES REQUIRED
576 / 5 = 116 + 1 = 117 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: NONE
SMALL TREES: 18-MvJW (+2)
SHRUBS: 122 (122 LcCF) (+5)

AREA 8: 337 LF
ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS APPLY

ADJACENT TO INTERNAL ACCESS DRIVE PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

337 / 40 = 9 + 1 = 10 SMALL TREES REQUIRED
337 / 5 = 68 + 1 = 69 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: NONE
SMALL TREES: 10 (10-MvJW)
SHRUBS: 57 (44 LcCF, 13 OhG) (-12)

AREA 9: 218 LF
ADJACENT TO SIDE AND REAR PROPERTY LINES PERIMETER REQUIREMENTS APPLY

ADJACENT TO SIDE AND REAR PROPERTY LINES PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

218 / 40 = 6 + 1 = 7 SMALL TREES REQUIRED
218 / 5 = 44 + 1 = 45 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
LARGE TREES: 5-NsTT (+5)
SMALL TREES: 7-C1
SHRUBS: 40 (40 lcC) (-5)

AREA 10: 442 LF
ADJACENT TO SIDE AND REAR PROPERTY LINES PERIMETER REQUIREMENTS APPLY

ADJACENT TO SIDE AND REAR PROPERTY LINES PERIMETER REQUIREMENTS:
5' WIDE
LARGE TREES: OPTIONAL
SMALL TREES: 1 + 1 SMALL TREE / 40 LF
SHRUBS: 1 + 1 SHRUB / 5 LF

442 / 40 = 12 + 1 = 13 SMALL TREES REQUIRED
442 / 5 = 89 + 1 = 90 SHRUBS REQUIRED

PROVIDED LANDSCAPING:
SMALL TREES: 15 (13-C1) (+2)
SHRUBS: 97 (97-LcCF) (+7)

2B. INTERIOR PARKING LOT LANDSCAPING PER 10.6.4

a. LANDSCAPED AREAS SHALL BE COVERED WITH MULCH, GROUNDCOVER OR SOD BETWEEN SHRUB AND TREE PLANTINGS. LANDSCAPED AREAS SHALL INCLUDE NO LESS THAN 1 LARGE TREE, 2 SMALL TREES, AND 8 SHRUBS PER 10 PARKING SPACES

b. PARKING AISLES SHALL NOT CONTAIN MORE THAN 10 SPACES IN A ROW WITHOUT A PLANTED MEDIAN, ISLAND OR BOTH

c. NO PARKING SPACE SHALL BE MORE THAN 60' FROM A PARKING LOT TREE

AS THIS IS A CAR DEALERSHIP, PARKING LOT LANDSCAPING WAS PROVIDED FOR DEDICATED CUSTOMER, EMPLOYEE, AND SERVICE VEHICLE PARKING AREAS BUT NOT INVENTORY PARKING AREAS EXCEPT FOR PARKING LOT CORNERS.

56 CUSTOMER PARKING SPACES
40 EMPLOYEE PARKING SPACES
52 SERVICE VEHICLE PARKING SPACES
148 PARKING SPACES

EVERY 10 PARKING SPACES REQUIRES:
1 LARGE TREE
2 SMALL TREES
8 SHRUBS

REQUIRED LANDSCAPING:
1 LARGE TREE X (148 / 10) = 15 LARGE TREES
2 SMALL TREES X (148 / 10) = 30 SMALL TREES
8 SHRUBS X (148 / 10) = 120 SHRUBS

PROVIDED LANDSCAPING:
LARGE TREES: 18 (2 X 7 NsTT, 4-Sp) (+1)
SMALL TREES: 30 (30 (1 X 4) + (2 X 9) + (3 X 2)) MvJW, 2 C1CN
SHRUBS: 120 (16 + 16 + 16 + 21 + 16 + 16 + 19 JcS)
GROUNDCOVER: 1,549 (118 + 89 + 89 + 100 + 134 + 91 + 32 + 172 + 24 + 72 + 37 + 101 + 107 + 84 + 137 + 25 + 137-1a)

3. STREET TREES PER SEC. 10.7
10.7.2 STREET TREES SHALL BE LOCATED IN THE R/W

10.7.4 LARGE TREES ARE REQUIRED BECAUSE THE PROPERTY IS IN THE HIGHWAY CORRIDOR

STREET TREE LANDSCAPING REQUIREMENTS PER TABLE 10-10:
LARGE TREES: 1 + 1 LARGE TREE / 40 LF

MINIMUM PLANTING STRIP WIDTH PER TABLE 14-2:
JEFFERSON DAVIS HIGHWAY, ARTERIAL 1: 10' WIDE REVCO ROAD, COLLECTOR 2: 8' WIDE

ROAD FRONTAGE ALONG JEFFERSON DAVIS HIGHWAY: 737'
ROAD FRONTAGE ALONG REVCO ROAD: 832'

JEFFERSON DAVIS HIGHWAY:
737 / 40 = 19 + 1 = 20 LARGE TREES REQUIRED

REVCO ROAD*
832 / 40 = 21 + 1 = 22 LARGE TREES REQUIRED
7 STREET TREES ALREADY EXIST ALONG REVCO ROAD AND WILL REMAIN (1 LIVE OAK AND 6 CRAPE MYRTLES)
22 - 7 = 15 LARGE TREES REQUIRED

TREES PROVIDED:
JEFFERSON DAVIS HIGHWAY-
LARGE TREES: VARIANCE APPLIED FOR
REVCO ROAD-
LARGE TREES: NONE
SMALL TREES: 15 (8 + 7 LwN)
SMALL TREES ARE PROVIDED DUE TO OVERHEAD POWERLINES

REQUIRED LANDSCAPE ELEMENTS

	REQUIRED LANDSCAPE AREA	LARGE TREES	SMALL TREES	SHRUBS
1	LANDSCAPE BUFFERS	22 + 9 = 31	22	254
2A	PARKING LOT LANDSCAPE - PERIMETER	6 + 6 + 4 + 5 = 21	8 + 8 + 6 + 6 + 9 + 11 + 16 + 10 + 7 + 13 = 94	50 + 50 + 36 + 41 + 61 + 74 + 117 + 69 + 45 + 90 = 633
2B	PARKING LOT LANDSCAPE - INTERIOR	15	30	120
3	STREET TREES	20 + 15 = 35	NONE REQUIRED	NONE REQUIRED
4	GENERAL LANDSCAPE (BLDG. PERIMETER)	NONE REQUIRED	NONE REQUIRED	NONE REQUIRED
TOTALS:		102	146	1,007

PROVIDED LANDSCAPE ELEMENTS

	REQUIRED LANDSCAPE AREA	LARGE TREES	SMALL TREES	SHRUBS
1	LANDSCAPE BUFFERS	27 + 9 = 36	VARIANCE APPLIED FOR	265
2A	PARKING LOT LANDSCAPE - PERIMETER	6 + 6 + 6 + 5 = 23	V + V + 10 + 11 + 9 + 11 + 18 + 10 + 7 + 15 = 91	58 + 50 + 37 + 41 + 56 + 64 + 122 + 57 + 40 + 97 = 622
2B	PARKING LOT LANDSCAPE - INTERIOR	18	30	120
3	STREET TREES	VARIANCE APPLIED FOR	15	0
4	GENERAL LANDSCAPE (BLDG. PERIMETER)	0	0	0
TOTALS:		77	136	1,007

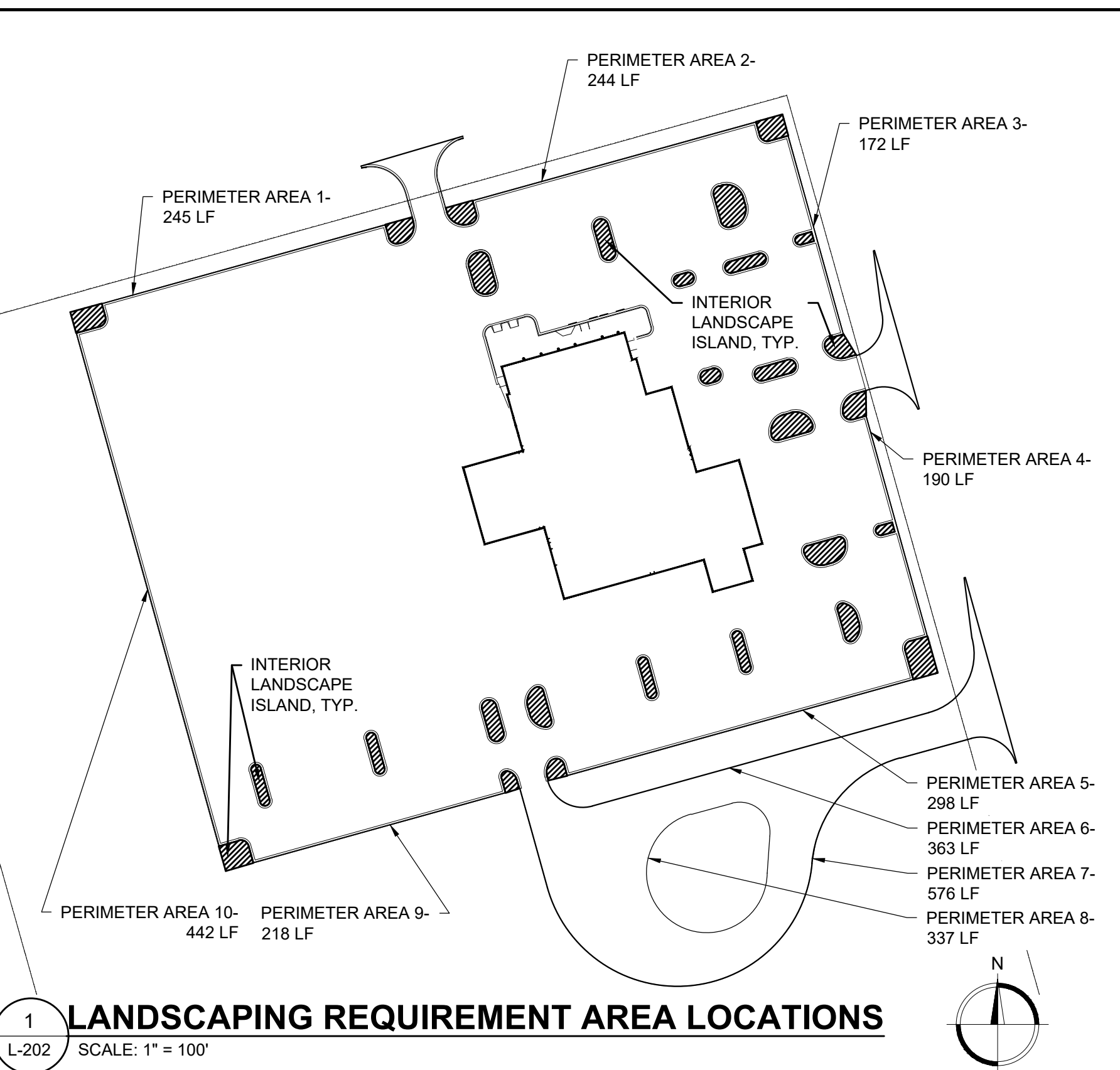
NOTE: THERE ARE LESS LARGE TREES PROVIDED THAN REQUIRED DUE TO THE PRESENCE OF OVERHEAD POWERLINES ALONG REVCO ROAD. THERE ARE MORE SMALL TREES PROVIDED THAN REQUIRED BECAUSE SMALL TREES ARE PLANTED IN PLACE OF LARGE TREES ALONG REVCO ROAD.

PLANT SCHEDULE

CONTRACTOR RESPONSIBLE FOR THEIR OWN QUANTITY TAKE-OFFS

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Cr	Chionanthus retusus	Chinese Fringe Tree	6-8'	B&B	31	
	C1CN	Cornus florida 'Cloud Nine'	Cloud Nine Dogwood	2' Cal.	B&B	23	
	LxN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle Multi-Trunk	8-10'	B&B	15	MULTI-TRUNK
	MvJW	Magnolia virginiana 'Jim Wilson' TM	Moonglow Sweetbay Magnolia	2' Cal.	B&B	67	SINGLE STEM
	NsTT	Nyssa sylvatica 'WFH1' TM	Tupelo Tower Sour Gum	2' Cal.	B&B	34	
	Sp	Sabal palmetto	Cabbage Palmetto	8-10'	B&B	43	SINGLE STEM
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	lcC	Ilex cornuta 'Carissa'	Carissa Chinese Holly	3 gal.	Pot	96	4' OC
	lvSD	Ilex vomitoria 'Stokes Dwarf'	Stokes Dwarf Yaupon Holly	3 gal.	Pot	105	4' OC
	JcS	Juniperus chinensis 'Sargentii'	Sargent Juniper	1 gal.	Pot	120	4' OC
	LcCF	Loropetalum chinense 'Crimson Fire'	Chinese Fringe Flower	3 gal.	Pot	327	4' OC
	MsLK	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1' Ht.	Pot	346	4' OC
	OhG	Osmanthus heterophyllus 'Gulftide'	Gulftide Osmanthus	4-6' H	B&B	13	8' OC
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	SEED	Cynodon dactylon x transvaalensis	Hybrid Bermudagrass	seed	N/A	149,763 sf	
	BASIN	Detention Basin Floor Grass Mix	Basin Floor Grass Mix	seed	N/A	42,310 sf	SEE DET. BASIN FLOOR GRASS MIX NOTE
	Ta	Trachelospermum asiaticum	Asiatic Jasmine	4"	Pot	2,184	2' OC

NOTE: THE LANDSCAPE ARCHITECT HAS SELECTED PLANT VARIETIES THAT ATTAIN SPECIFIC SIZES. ANY PROPOSED SUBSTITUTIONS TO THE PLANT SCHEDULE DUE TO AVAILABLE SUPPLY MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.



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S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29629
NEW KIA DEALERSHIP
PROJECT LOCATION:
JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841

State of South Carolina
REGISTERED LANDSCAPE ARCHITECT
No. 1557
1-31-2022
ALEXANDRA WHITNEY REYNOLDS

JOHNSON, LASCHNER & ASSOCIATES, P.C.
No. C03790
STATE OF SOUTH CAROLINA

ISSUED FOR VARIANCE REQUEST
REVIEWED PER NA REVIEW COMMENTS & SCDDOT SUBMITTA
DATE: 01/31/23 WTB
DATE: 01/12/23 WTB
DATE: 10/28/21 WTB
REV / DATE BY DESCRIPTION

PROJECT NO. 6248.2101
DRAWN BY: AWR
CHECKED BY: WTB
DATE: 05/04/2021
SHEET TITLE: **LANDSCAPE CALCULATIONS**

SCALE: AS SHOWN
DRAWING NO. **L-202** REV. **C**

Department of Planning and Development



Project Staff Report

ZV22-002 Anderson Carport

Prepared by: Kuleigh Baker

Meeting Date: March 1, 2022

SECTION 1: PROJECT SUMMARY

Project Name	Anderson Carport
Applicant	Carolyn Marie Anderson
Address/Location	723 Indian Mound Drive
Parcel Number	002-20-06-012
Total Development Size	±0.22 ac
Existing Zoning	R-14, Large Lot, Single-Family Residential
Overlay	NA
Variance Requested	NADC Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code for a carport addition that does not meet the required setbacks.

SECTION 2: BOARD OF ZONING APPEALS CONSIDERATION

Per NADC § 18.4.5.4.2, the Board of Zoning Appeals shall hear and decide appeals for variances from the requirements of Article 3, Zoning Districts, and Article 13, Signs, when strict application of the regulations would result in unnecessary hardship.

A variance may be granted in an individual case of unnecessary hardship if the Board of Zoning Appeals makes and explains in writing, all of the following:

1. An unnecessary hardship exists;
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
3. The conditions do not generally apply to other property in the vicinity;
4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures

that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)

6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a. To allow the establishment of a use not otherwise permitted in a zoning district.
 - b. To extend physically a nonconforming use of land.
 - c. To change zoning district boundaries shown on the official zoning map.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.

Based on these findings of fact, the Board of Zoning Appeals may approve, approve with conditions, or deny the request.

SECTION 3: PUBLIC NOTICE

Per NADC Table 5-1, 6. Variance, the application and description were advertised via a public notice describing the variance request and advertising the scheduled date of the Board of Zoning Appeals hearing in *The Star* and www.northaugusta.net on February 9, 2022. A written notice of the variance request and scheduled date of the Board of Zoning Appeals hearing was mailed to the owners of property within 200 feet of the subject property on February 4, 2022. The property was posted with the required public notice on February 9, 2022.

SECTION 4: SITE HISTORY

The home was built in the mid-1950s in the Hammond Hills neighborhood. The house is situated at the corner of Indian Mound Drive and Jackson Avenue with a curved driveway that allows access to each road. The applicant is seeking a variance from NADC Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code for a carport addition that does not meet the required setbacks.

SECTION 5: EXISTING SITE CONDITIONS

	<u>Existing Land Use</u>	<u>Future Land Use</u>	<u>Zoning</u>
Subject Parcel	Residential	Low Density Residential	R-14, Large Lot, Single-Family Residential
North	Residential	Low Density Residential	R-14, Large Lot, Single-Family Residential
South	Residential	Low Density Residential	R-14, Large Lot, Single-Family Residential
East	Residential	Low Density Residential	R-14, Large Lot, Single-Family Residential
West	Residential	Low Density Residential	R-14, Large Lot, Single-Family Residential

Access – The site currently is accessible from Indian Mound Drive and Jackson Avenue.

Topography – The subject property is mostly flat with a slight upward slope from the Northwest to the Southeast.

Utilities – The site has existing water and sewer service.

Floodplain – The site does not appear to contain any regulated floodplain.

Drainage Basin – The subject property is within the Hammond Hills basin. The overall water quality sampling for the Hammond Hills basin is good. The area is highly developed. The stream channel integrity is poor and features many eroding banks and failing ditches.

SECTION 6: STAFF EVALUATION AND ANALYSIS

The applicant requests a variance from NADC Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code for a carport addition that does not meet the required setbacks.

Section 3.5.8 Corner Side Yards states:

Where a side yard abuts a street (corner lot), the minimum side yard shall be at least fifty percent (50%) of the front yard required on the lot lying to the rear when the rear lot faces the side street. No accessory building on the corner lot shall extend beyond the side yard lines. This section does not apply to the TND District.

The required front setback for the R-14, Large Lot, Single-Family Residential Zoning District as listed in Table 3-3 Dimensional Standards is a minimum of 25 ft. The applicant has proposed a carport over the existing driveway with a minimum distance of approximately 6.1 ft at its closest corner. The minimum setback required by the corner side yard section of the code is 12.5 ft.

Following is analysis required by NADC §5.1.4.5.b (Staff commentary is bulleted):

1. An unnecessary hardship exists;
 - The applicant states that the unnecessary hardship is created due to exposure to the elements upon entering the residence from the front or back entrance.
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - The applicant states the location of the property is unique in that it is situated on a curving corner and that extra feet are needed to accommodate the single carport covering the existing driveway.
3. The conditions do not generally apply to other property in the vicinity;
 - The applicant states the surrounding homes have existing carports and garages and are not on a curving corner lot.
4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and

- The applicant states the code restricts the ability to have a carport using the code's building setback lines because the subdivision was established in the 1950s.
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)
- The applicant states the design will maintain the character of the surrounding residential district while protecting property values, health, safety, and the general welfare of the surrounding neighborhood and that the design will not obstruct visibility at the intersection of Jackson Avenue, Indian Mound Drive, and Springdale Road.
6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
- Not applicable
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
- a To allow the establishment of a use not otherwise permitted in a zoning district.
 - Single-family residences are allowed in the R-14, Large Lot, Single-Family Residential zoning district.
 - b To extend physically a nonconforming use of land.
 - The variance does not extend a physically nonconforming use of land.
 - c To change zoning district boundaries shown on the official zoning map.
 - The application does not propose a change to the zoning district boundaries.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
- The applicant states the hardship is created by the age of the subdivision and existing layout.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
- Staff notes that the fact that profitably is not the primary purpose of the request.

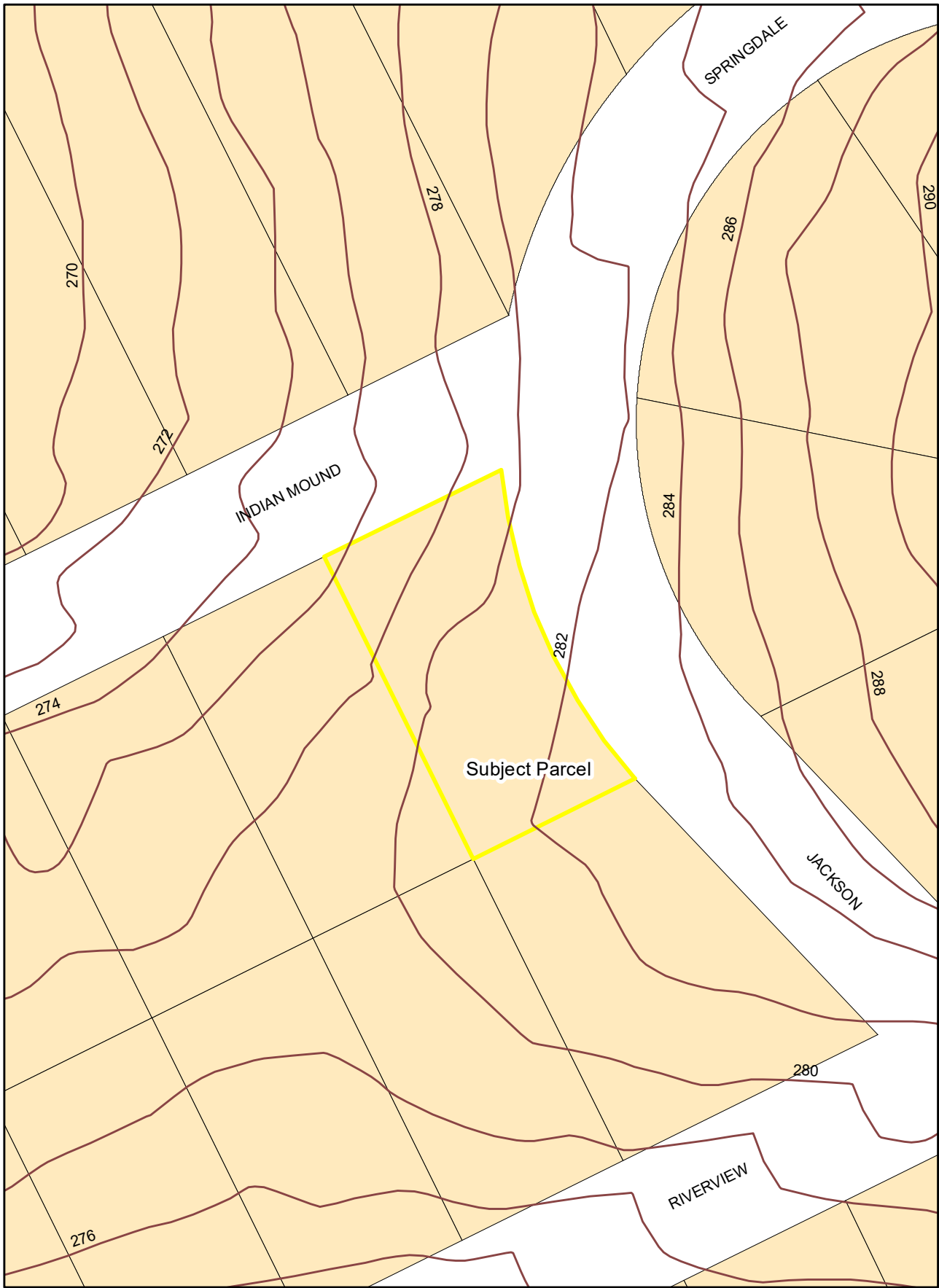
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.
- This variance, if granted, will apply only to this property and the plat as submitted.
 - Staff is open to suggestions for other conditions from the Board.

SECTION 7: ATTACHMENTS

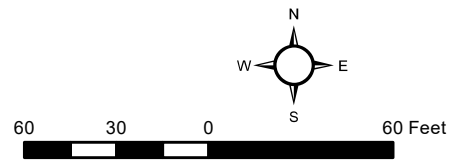
- 1) Aerial
- 2) Topography
- 3) Current Zoning
- 4) Future Land Use
- 5) Site Photos
- 6) Public Notice
- 7) Application Materials

cc. Carolyn Marie Anderson, via email

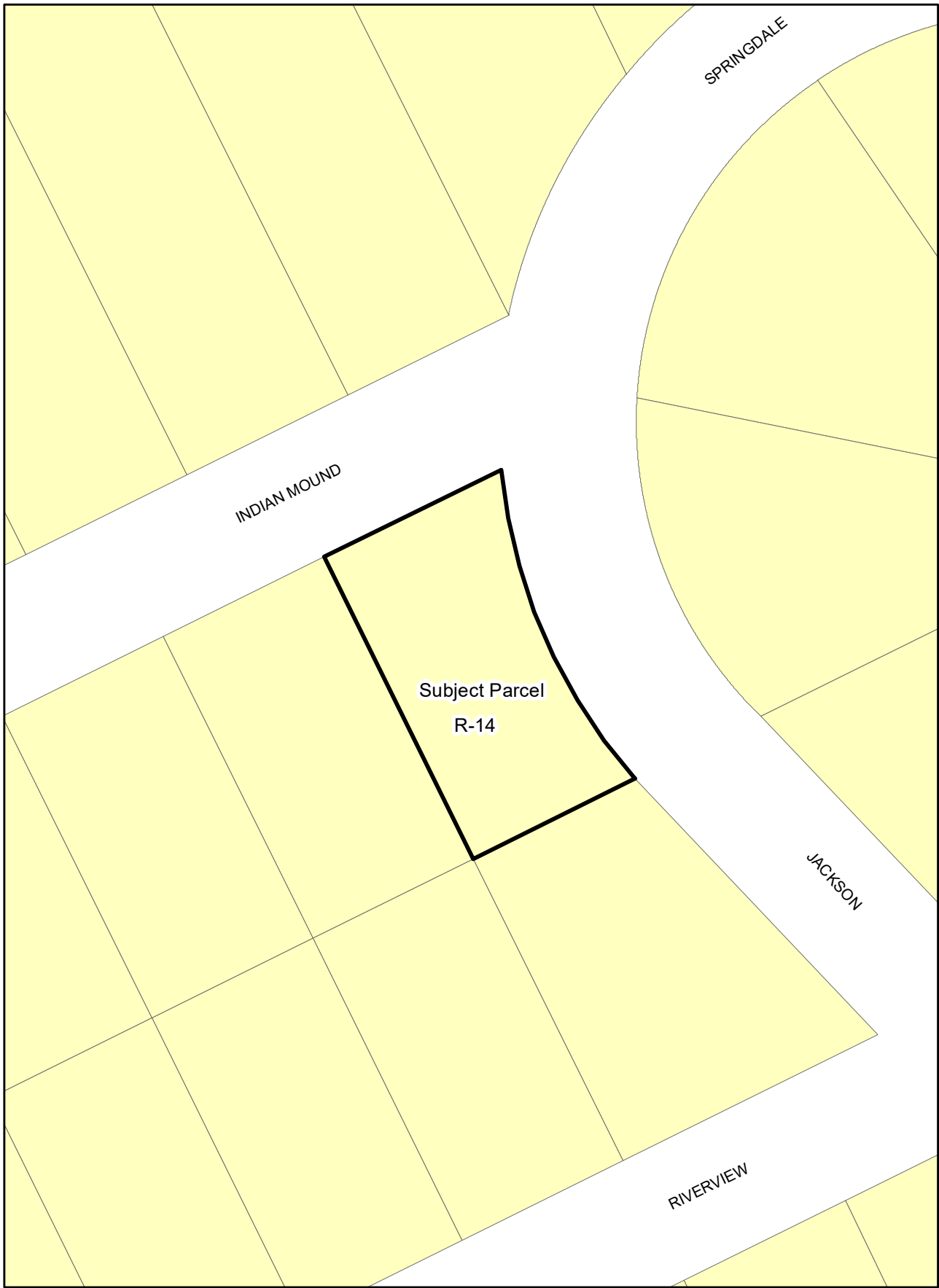




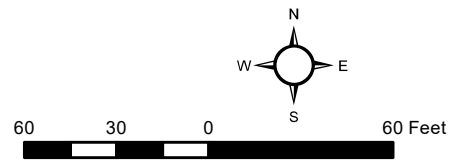
Topography Map
Application ZV22-002
TPN 002-20-06-012
Approx 0.26 ac



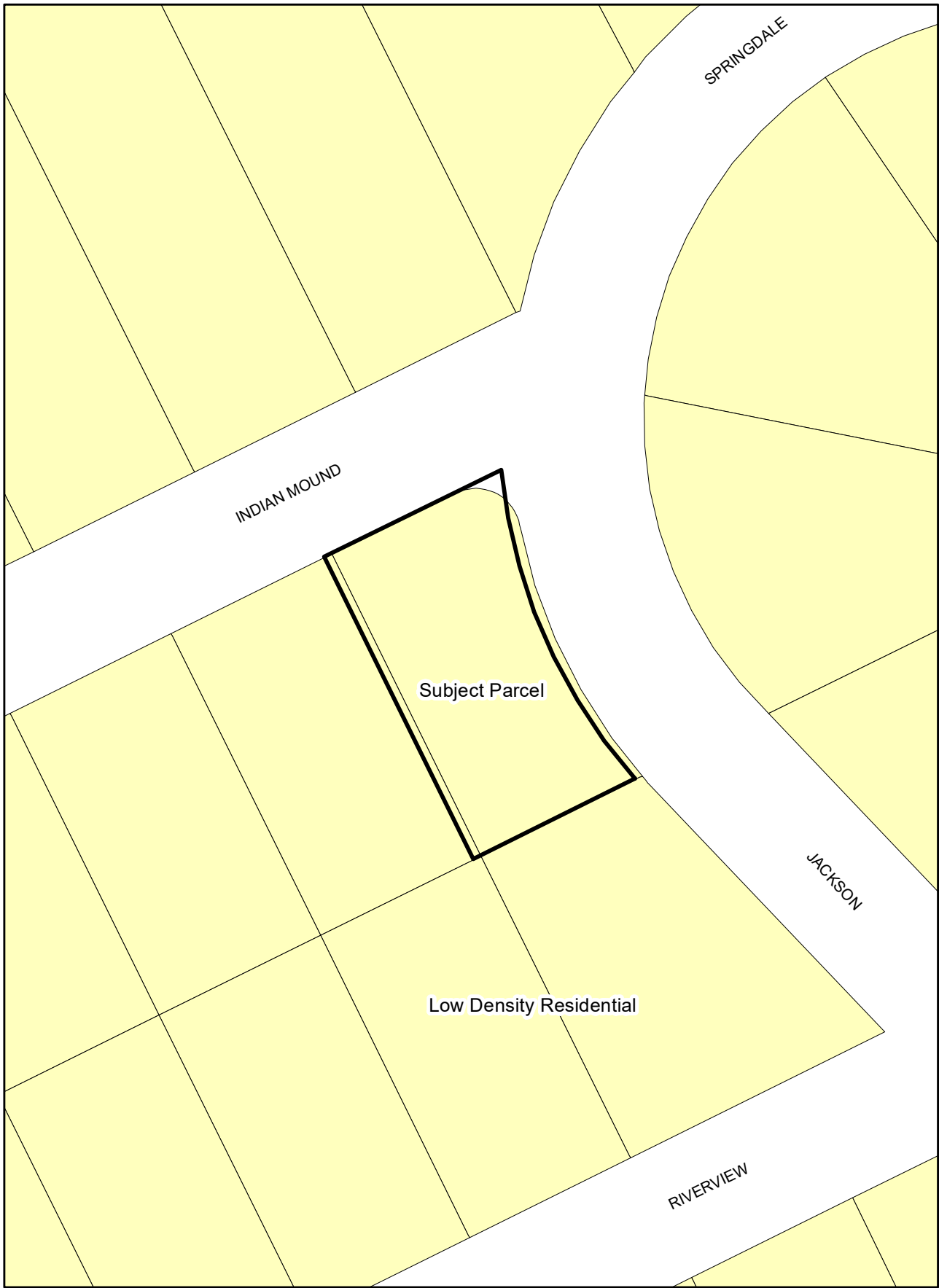
Date: 2/9/2022



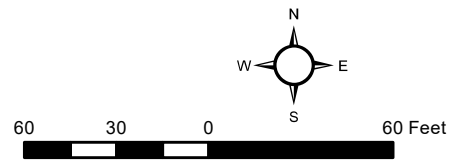
Zoning Map
Application ZV22-002
TPN 002-20-06-012
Approx 0.26 ac



Date: 2/4/2022



Future Land Use Map
Application ZV22-002
TPN 002-20-06-012
Approx 0.26 ac



Date: 2/9/2022

City of
North Augusta, South Carolina
Board of Zoning Appeals

PUBLIC HEARING NOTICE

The North Augusta Board of Zoning Appeals will hold a public hearing at its regular monthly meeting beginning at 6:00 PM on Tuesday, March 1, 2022 in the Council Chambers, North Augusta Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina, to receive public input on the following applications:

ZV21-001 and ZV22-004 – A request by S&H Enterprises represented by JLA for variances from Section 3.8.5.8.5, Front Setback Landscaping; Section 3.8.5.10.5, Permitted Materials with Limitations; and Section 7.4, Table 7-2, Exterior Lighting Levels of the North Augusta Development Code. The application affects a proposed car dealership on ±16.54 acres located at 5425 Jefferson Davis Highway, TPNs 013-15-02-001 and 013-20-03-004 zoned TC, Thoroughfare Commercial, and within the HC, Highway Corridor Overlay District.

ZV22-002 – A request by Carolyn Marie Anderson for a variance from Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code. The application affects a proposed carport addition located at 723 Indian Mound Drive, TPN 002-20-06-012 on ±0.26 acres zoned R-14, Large Lot, Single-Family Residential.

ZV22-003 – A request by Matthew's Development, LLC for a front setback greater than the maximum permitted and a frontage buildout less than the minimum permitted by North Augusta Development Code, Section 3.8.5.3, Table 3-9, Dimensional Standards. The request affects a proposed restaurant on ±2.01 acres located along Edgefield Road, a portion of TPN 011-07-01-003, zoned GC, General Commercial, and within the HC, Highway Corridor Overlay District.

Documents related to the applications will be available for public inspection after February 24, 2022 in the offices of the Department of Planning and Development on the second floor of the Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina and online at www.northaugusta.net. All residents and property owners interested in expressing a view on these cases are encouraged to attend or provide written comments to planning@northaugusta.net

CITIZEN ASSISTANCE: Individuals needing special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development at 803-441-4221 at least 48 hours prior to the meeting.

Application for Development Approval

Please type or print all information



Staff Use

Application Number ZV22-002 Date Received 1-31-22
Review Fee 250.00 Date Paid 1-31-22

1. Project Name Anderson Renovation & Airport Addition
Project Address/Location 723 FWOIAN MOUND DR. N. AUGUSTA, SC 29841
Total Project Acreage .26 AC Current Zoning _____
Tax Parcel Number(s) 002-20-06-012
2. Applicant/Owner Name CAROLYN MARIE ANDERSON Applicant Phone 706/399-7016
Mailing Address 1302 HEPHIZIBAH-McBEAN RD.
City HEPHIZIBAH ST GA Zip 30815 Email ANDERSON.MARIE@COMCAST.NET
3. Is there a Designated Agent for this project? Yes No
If Yes, attach a notarized Designation of Agent form. (required if Applicant is not property owner)
4. Engineer/Architect (Surveyor) WILLIAM R. COPE License No. 11811 SC
Firm Name WILLIAM R. COPE Firm Phone _____
Firm Mailing Address PROFESSIONAL LAND SURVEYORS, INC. 1804 CENTRAL AVE.
City AUGUSTA ST GA Zip 30904 Email _____
Signature (SEE SURVEY ATTACHED) Date 1/18/22
5. Is there any recorded restricted covenant or other private agreement that is contrary to, conflicts with or prohibits the use or activity on the property that is the subject of the application?
(Check one.) yes no
6. In accordance with Section 5.1.2.3 of the North Augusta Development Code, I hereby request the City of North Augusta review the attached project plans. The documents required by the City of North Augusta, as outlined in Appendix B of the North Augusta Development Code, are attached for the City's review for completeness. The applicant acknowledges that all required documents must be correct and complete to initiate the compliance review process.
7. [Signature] / CM Anderson 1-31-22
Applicant or Designated Agent Signature Date
Brad Hodges / Carolyn Marie Anderson
Print Applicant or Agent Name

Designation of Agent

Please type or print all information



This form is required if the property owner is not the applicant.

Staff Use Only

Application Number 2V22-002

Date Received 1-31-22

1. Project Name Anderson Renovation & Carport Addition
Project Address/Location 723 Indian Mound Dr. N. Augusta, SC 29841
Project Parcel Number(s) 002-20-06-012
2. Property Owner Name Carolyn Marie Anderson Owner Phone 706/399-7016
Mailing Address 1302 Hephzibah-McBean Rd.
City Hephzibah ST GA Zip 30815 Email ANDERSON.MARIE@comcast.net
3. Designated Agent BRAD Hodge
Relationship to Owner Superintendent, Construction
Firm Name Redcap Industrial Phone 706-726-4114
Agent's Mailing Address 832 McCoy Church Rd.
City Waynesboro ST GA Zip 30830 Email BRADHodge@comcast.net
Agent's Signature [Signature] Date 1-31-22

4. I hereby designate the above-named person (Line 3) to serve as my agent and represent me in the referenced application.

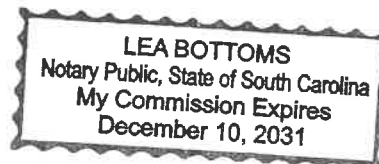
[Signature]
Owner Signature

31 Jan 2022
Date

5. Sworn and subscribed to before me on this 31st day of January, 20 22.

[Signature]
Notary Public

12-10-2031
Commission Expiration Date



LOC MAP.png SITE

EQUIPMENT USED:
TOPCON 303
100' STEEL TAPE

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	45.44'	25.00'	104°08'49"	S65°22'53"E	39.44'
C2	120.02'	243.69'	28°13'03"	S27°25'16"E	118.81'

NOTE: THIS PROPERTY MAY ALSO BE SUBJECT TO EASEMENTS, SETBACKS, OR REGULATIONS NOT SHOWN ON THIS PLAT BUT WHICH MAY BE ON RECORD IN THE CLERK OF COURT'S OFFICE

RBS = #4 REBAR SET
RBF = #4 REBAR FOUND
CTPF = CRIMP TOP PIPE FOUND
OTPF = OPEN TOP PIPE FOUND

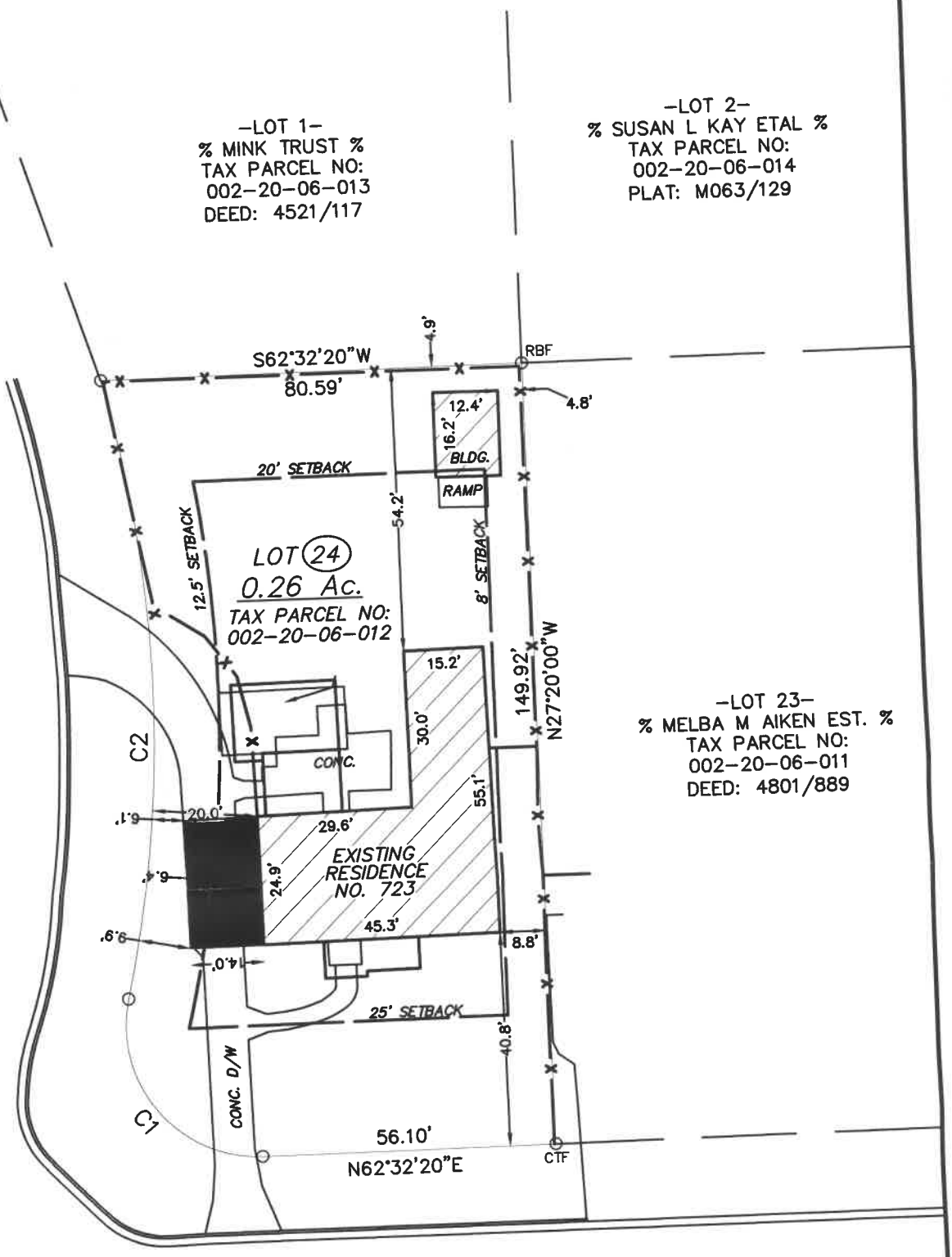
LOCATION MAP
N.T.S.



JACKSON AVENUE
60' PUBLIC R/W

-LOT 1-
% MINK TRUST %
TAX PARCEL NO:
002-20-06-013
DEED: 4521/117

-LOT 2-
% SUSAN L KAY ETAL %
TAX PARCEL NO:
002-20-06-014
PLAT: M063/129



-LOT 23-
% MELBA M AIKEN EST. %
TAX PARCEL NO:
002-20-06-011
DEED: 4801/889

INDIAN MOUND DRIVE
S-1752
60' PUBLIC R/W

SPRINGDALE ROAD
60' PUBLIC R/W

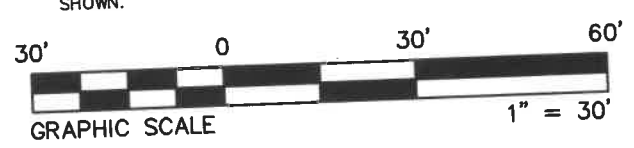


THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO F.I.A. FLOOD MAP. NO. 45003C0313F, DATED 08/16/2018

PLAT PREPARED FOR MARIE ANDERSON



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



PROPERTY LOCATED AT
723 INDIAN MOUND DRIVE
KNOWN AS WOODLAWN SUBDIVISION,
BLOCK "C" LOT 24,
TAX PARCEL NO. 002-20-06-012
COUNTY OF: AIKEN
STATE OF: SOUTH CAROLINA

DRAWN BY:	CAM/WRG
SCALE:	1" = 30'
DATE:	1/13/2022
REVISED:	

William R. Gore
PROFESSIONAL LAND SURVEYORS, INC.
1804 CENTRAL AVE AUGUSTA, GEORGIA 30904
TEL: (706) 738-8771 FAX: (706) 736-6249

723 Indian Mound Dr.

- (i) unnecessary hardship created due to exposure of the elements upon entering residence from front or back entrances
- (j) conditions unique to location of property is on a "curving" corner of Jackson and Indian Mound. Extra feet needed for single carport to cover existing driveway
- (k) other property in the area have carports or garages that are existing and they are not on a "curving" corner lot
- (l) measurement of building setback lines when subdivision was established in the 1950's
- (m) Asking for minimal footage to cover existing driveway with a single carport. There will be no obstruction of sight at the intersection of Jackson, Springdale, and Indian Mound



)

Department of Planning and Development



Project Staff Report

ZV22-003 Popeye's at Exit 5

Prepared by: Kuleigh Baker

Meeting Date: March 1, 2022

SECTION 1: PROJECT SUMMARY

Project Name	Popeye's at Exit 5
Applicant	Matthew's Development, LLC
Agent	Tidewater Engineering, Inc.
Address/Location	Edgefield Road
Parcel Number	001-07-01-003
Total Development Size	± 2.01 acres
Existing Zoning	GC, General Commercial
Overlay	HC, Highway Corridor Overlay District
Variance Requested	<ol style="list-style-type: none">a. Section 3.8.5.3, Table 3-9, Dimensional Standards for the Highway Corridor Overlay District, maximum setbackb. Section 3.8.5.3, Table 3-9, Dimensional Standards for the Highway Corridor Overlay District, minimum frontage buildout

SECTION 2: BOARD OF ZONING APPEALS CONSIDERATION

Per NADC § 18.4.5.4.2, the Board of Zoning Appeals shall hear and decide appeals for variances from the requirements of Article 3, Zoning Districts, and Article 13, Signs, when strict application of the regulations would result in unnecessary hardship.

A variance may be granted in an individual case of unnecessary hardship if the Board of Zoning Appeals makes and explains in writing, all of the following:

1. An unnecessary hardship exists;
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
3. The conditions do not generally apply to other property in the vicinity;

4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)
6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a. To allow the establishment of a use not otherwise permitted in a zoning district.
 - b. To extend physically a nonconforming use of land.
 - c. To change zoning district boundaries shown on the official zoning map.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.

Based on these findings of fact, the Board of Zoning Appeals may approve, approve with conditions, or deny the request.

SECTION 3: PUBLIC NOTICE

Per NADC Table 5-1, 6. Variance, the application and description were advertised via a public notice describing the variance request and advertising the scheduled date of the Board of Zoning Appeals hearing in *The Star* and www.northaugusta.net on February 9, 2022. A written notice of the variance request and scheduled date of the Board of Zoning Appeals hearing was mailed to the owners of property within 200 feet of the subject property on February 4, 2022. The property was posted with the required public notice on February 9, 2022.

SECTION 4: SITE HISTORY

The subject property is currently vacant. At one time there was a single-family detached dwelling on the property. The subject property is being developed as an outparcel of the QuikTrip project.

SECTION 5: EXISTING SITE CONDITIONS

	<u>Existing Land Use</u>	<u>Future Land Use</u>	<u>Zoning</u>
Subject Parcel	Vacant	Mixed use	GC, General Commercial
North	Vacant	Mixed Use	GC, General Commercial
South	Vacant/Single-Family Residential	Mix Use/Low Density Residential	UD, Urban Development (Aiken County)
East	Vacant	Mixed Use	UD, Urban Development (Aiken County)
West	Single-Family Residential	Low Density Residential	RC, Residential Single-Family Conservation (Aiken County)

Access – The site currently has access from Edgefield Road and will be accessed from an easement associated with the QuikTrip parcel.

Topography – The subject parcel is relatively flat in the portion to the West proposed to be developed. Higher elevations can be found towards the Southwest portion of the parcel.

Utilities – Water and wastewater service are available. The property is served by the City of North Augusta water and sewer.

Floodplain – The subject property is not located within a federally designated floodway.

Drainage Basin – The property is located within the Pole Branch Basin. The basin has an overall poor water quality rating. Pole Branch basin is one of the city's largest basins. The basin borders along Highway 25 at I-20 to Arbor Place off of Walnut Lane and then encompasses Bergen Road and its communities. The Pole Branch watershed includes high density residential, high density commercial, and some industrial areas. Major traffic corridors including Highway 25, I-20, Five Notch Road, and all the neighboring communities impact this watershed. The preliminary physical stream assessments at Pole Branch indicate that this stream channel is currently not effective at transporting current loads of stormwater during heavy storm events. Due to the high nutrient concentrations identified after the first sample event, Pole Branch has been a focus of

the city monitoring program and attempts to identify sources of pollution will continue in the basin. As problems are identified, solutions will be implemented in conjunction with increased public education and outreach about the problems in this basin. Stream segment assessments throughout the basin are needed.

SECTION 6: STAFF EVALUATION AND ANALYSIS

The applicant is requesting a variance from the following sections of the North Augusta Development Code:

Article 3, Section 3.8.5.3, Table 3-9, Dimensional Standards for the Highway Corridor Overlay District maximum setback and minimum frontage buildout.

TABLE 3-9 DIMENSIONAL STANDARDS FOR THE HIGHWAY CORRIDOR OVERLAY DISTRICT
 (Rev. 12-1-08; Ord. 2008-18)

	A	B
1.	Maximum Height	70 feet
2.	Minimum Height	14 feet
3.	Minimum Front Setback	5 feet or 30 feet
4.	Maximum Front Setback	90 feet
5.	Minimum Side Setback	Required buffer, 0 feet or 10 feet
6.	Minimum Rear Setback	Required buffer, 20 feet or 10 feet from an alley
7.	Maximum Floor Area Ratio	3.0
8.	Minimum Frontage Buildout	30%

A variance of ± 25 ft is being requested for a maximum front setback of ± 115 ft.
 A variance of $\pm 11\%$ is being requested for a minimum frontage buildout of $\pm 19\%$.

The following analysis is required by NADC §5.1.4.5.b:

1. An unnecessary hardship exists;

- The applicant states that for the safety of employees and customers, adequate circulation around the building is imperative for vehicular and pedestrian movements that cannot be achieved through the required setbacks.
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - The applicant states that as part of QuikTrip's overall development of the site, a deceleration lane and shared access will allow for a seamless transition between the properties. The proposed layout is based on the previously approved site plan design for QuikTrip.
 3. The conditions do not generally apply to other property in the vicinity;
 - The applicant states that much of the surrounding property is undeveloped or residential which does not require the same level of vehicular servicing.
 4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 - The applicant states that if the setbacks were adhered to, the drive aisles would be compromised and impact safety. Similarly, a site plan with a 30% minimum frontage buildout would not be wide enough to handle vehicular circulation around the building and impact the surrounding roadway.
 5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)
 - The applicant states that the request does not pose any detriment to the surrounding properties or future commercial development and that the proposed site plan will be cohesive to the overall development of the QuikTrip property.

6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
 - Not applicable

7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a To allow the establishment of a use not otherwise permitted in a zoning district.
 - Restaurants with drive-thru uses are allowed in commercial zoning districts within the stated regulatory limits.
 - b To extend physically a nonconforming use of land.
 - The variance does not extend a physically nonconforming use of land.
 - c To change zoning district boundaries shown on the official zoning map.
 - The application does not propose a change to the zoning district boundaries.

8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
 - The applicant states the hardship is not self-imposed and multiple configurations and layouts have been considered in an attempt to meet the requirements of the Highway Corridor Overlay District.

9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
 - Staff recognizes that the property may be used more profitably if developed but is not the sole grounds for the variance request.

10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.

Staff recommends the following conditions, but all conditions are at the discretion of the Board of Zoning Appeals:

1. The property will be developed in general conformance with the layout provided. Minor changes to the layout may be allowed as determined by the Planning & Development Director. In no case will a less conforming layout be allowed.
2. Curb cuts onto Edgefield Road/Hwy 25 must be approved by SCDOT.
3. All other requirements of the HC Overlay will be met as verified by staff at development review.

SECTION 7: ATTACHMENTS

- 1) Aerial
- 2) Topography
- 3) Current Zoning
- 4) Future Land Use
- 5) Site Photos
- 6) Public Notice
- 7) Application Materials

cc. Matt Demeyers, Matthew's Development, LLC, via email

Peter Schoenauer, Tidewater Engineering, Inc., via email



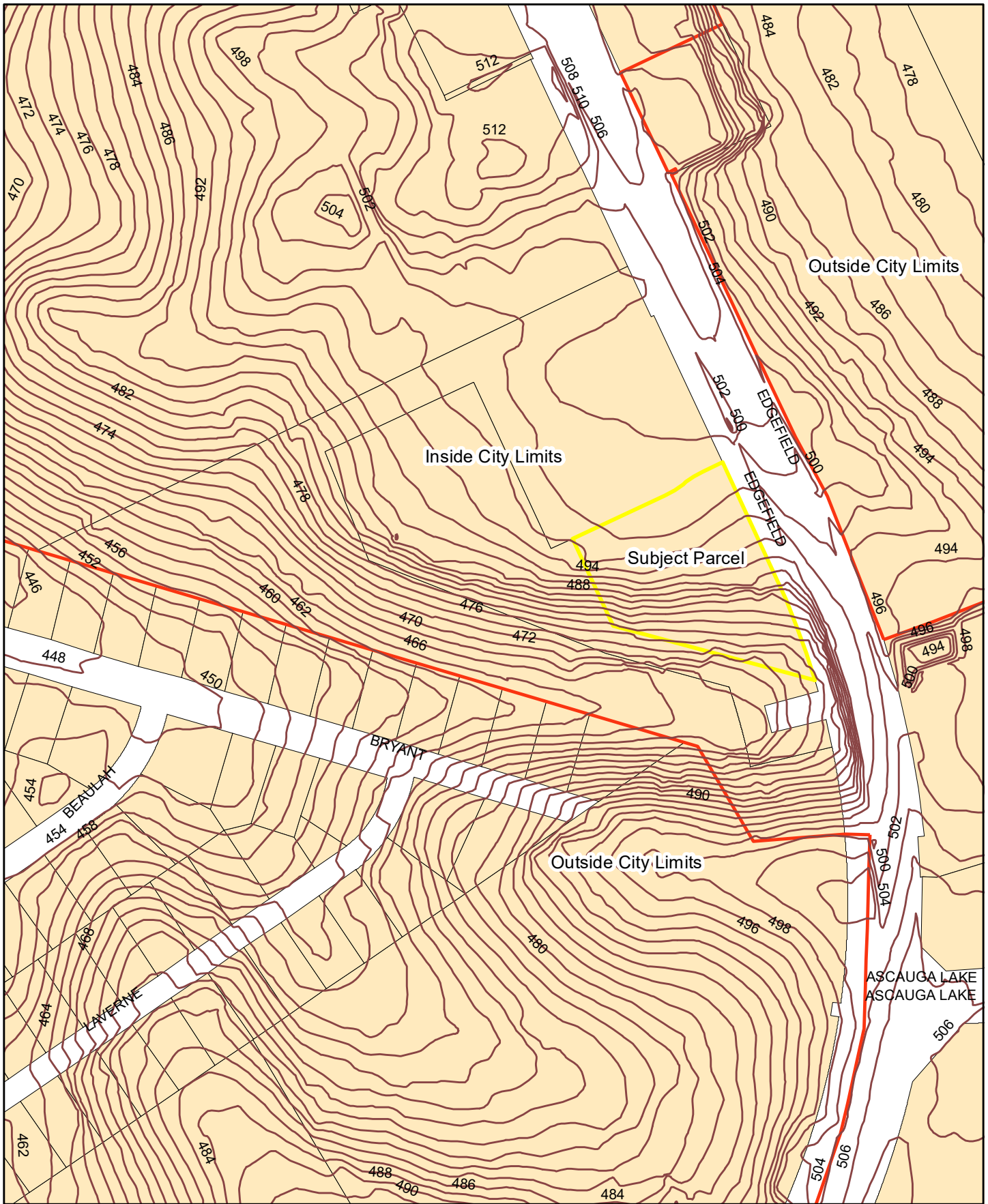
410 205 0 410 Feet



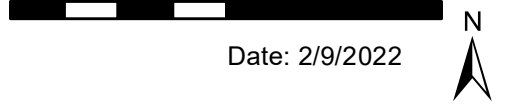
Aerial Map
Application ZV222-003
TPN 011-07-01-003
Approximately 2.01 ac

Date: 2/9/2022



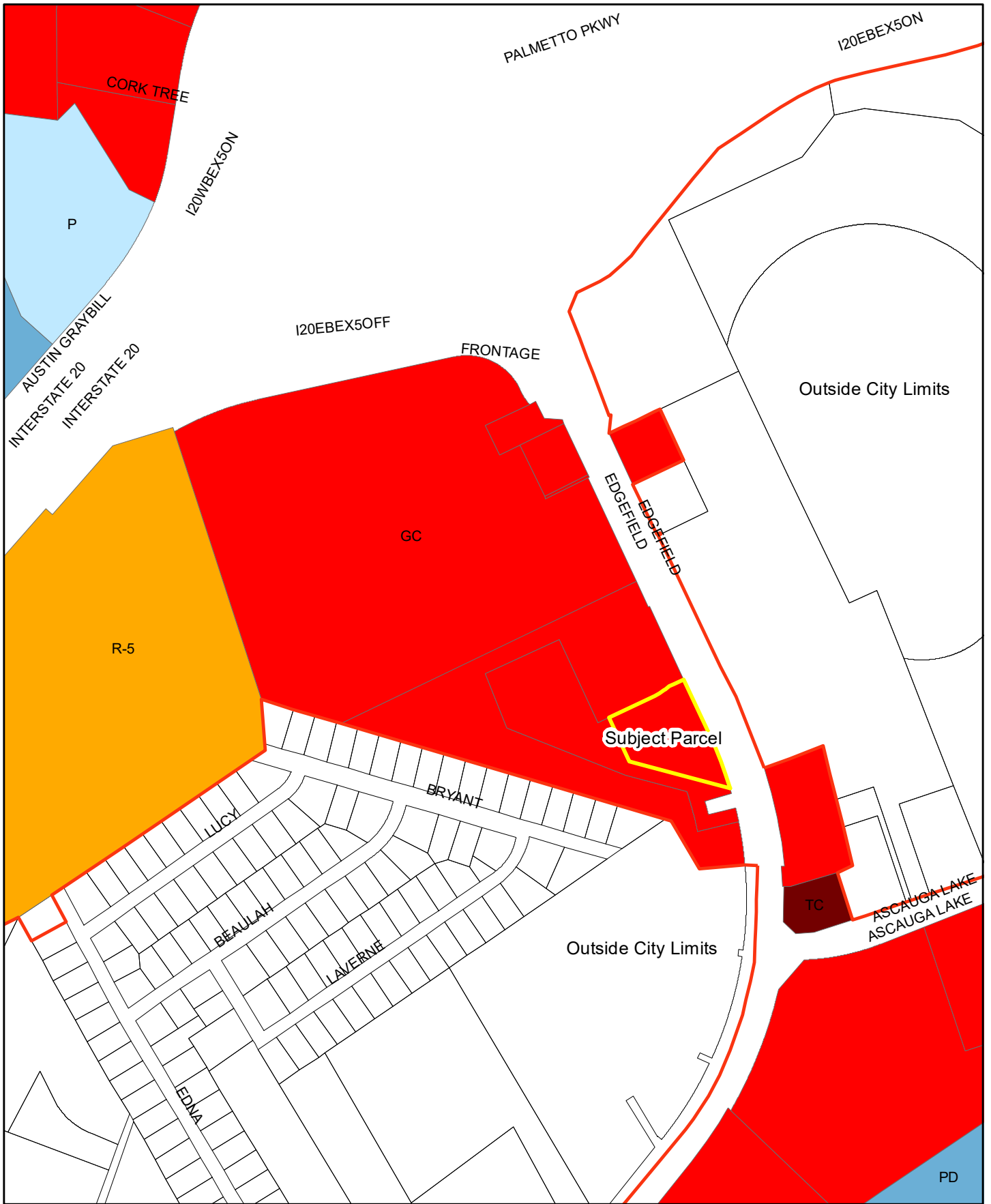


260 130 0 260 Feet



Topography Map
 Application ZV222-003
 TPN 011-07-01-003
 Approximately 2.01 ac

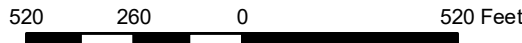
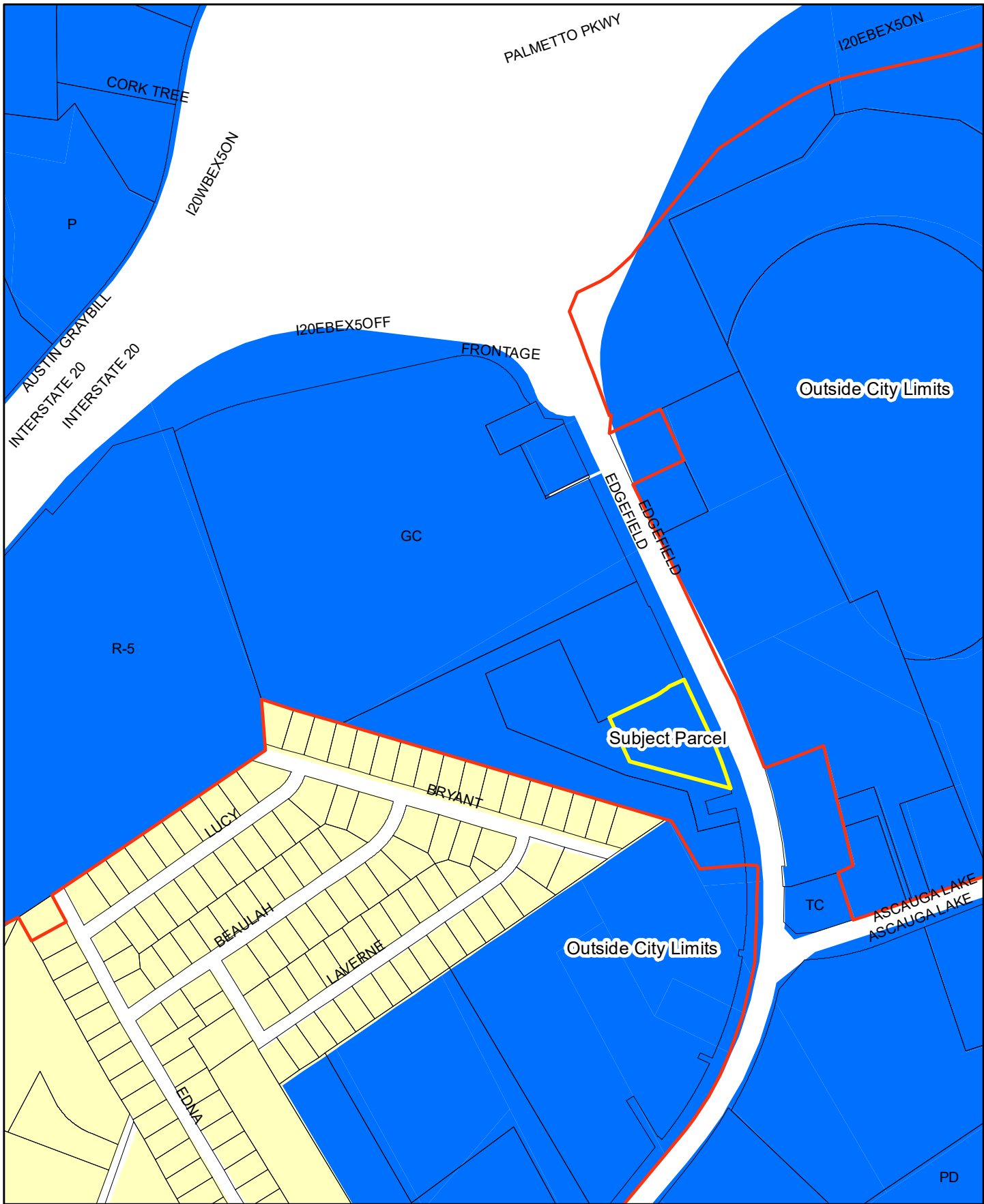
Date: 2/9/2022



Zoning Map
 Application ZV222-003
 TPN 011-07-01-003
 Approximately 2.01 ac

Date: 2/4/2022





Future Land Use Map
 Application ZV222-003
 TPN 011-07-01-003
 Approximately 2.01 ac

Date: 2/9/2022



City of
North Augusta, South Carolina
Board of Zoning Appeals

PUBLIC HEARING NOTICE

The North Augusta Board of Zoning Appeals will hold a public hearing at its regular monthly meeting beginning at 6:00 PM on Tuesday, March 1, 2022 in the Council Chambers, North Augusta Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina, to receive public input on the following applications:

ZV21-001 and ZV22-004 – A request by S&H Enterprises represented by JLA for variances from Section 3.8.5.8.5, Front Setback Landscaping; Section 3.8.5.10.5, Permitted Materials with Limitations; and Section 7.4, Table 7-2, Exterior Lighting Levels of the North Augusta Development Code. The application affects a proposed car dealership on ±16.54 acres located at 5425 Jefferson Davis Highway, TPNs 013-15-02-001 and 013-20-03-004 zoned TC, Thoroughfare Commercial, and within the HC, Highway Corridor Overlay District.

ZV22-002 – A request by Carolyn Marie Anderson for a variance from Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code. The application affects a proposed carport addition located at 723 Indian Mound Drive, TPN 002-20-06-012 on ±0.26 acres zoned R-14, Large Lot, Single-Family Residential.

ZV22-003 – A request by Matthew's Development, LLC for a front setback greater than the maximum permitted and a frontage buildout less than the minimum permitted by North Augusta Development Code, Section 3.8.5.3, Table 3-9, Dimensional Standards. The request affects a proposed restaurant on ±2.01 acres located along Edgefield Road, a portion of TPN 011-07-01-003, zoned GC, General Commercial, and within the HC, Highway Corridor Overlay District.

Documents related to the applications will be available for public inspection after February 24, 2022 in the offices of the Department of Planning and Development on the second floor of the Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina and online at www.northaugusta.net. All residents and property owners interested in expressing a view on these cases are encouraged to attend or provide written comments to planning@northaugusta.net

CITIZEN ASSISTANCE: Individuals needing special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development at 803-441-4221 at least 48 hours prior to the meeting.

Notice of Appeal

Please type or print all information



Staff Use Only

Application Number _____

Date Received _____

Review Fee _____

Date Paid _____

1. Project Name Exit #5 Popeye's

Project Address/Location Edgefield Road

Total Project Acreage 2.013 acres Current Zoning UD

Tax Parcel Number(s) 001-07-01-003

2. Applicant/Owner Name Matthew's Development, LLC Applicant Phone 504-284-8880

Mailing Address 1030 Philip Street

City New Orleans ST LA Zip 70130 Email matt.demeyers@magazinvest.com

3. Is there a Designated Agent for this project? Yes No
If Yes, attach a notarized Designation of Agent form. (required if Applicant is not property owner)

4. Engineer/Architect/Surveyor Peter Schoenauer License No. 34207

Firm Name Tidewater Engineering, Inc. Firm Phone 912-268-2164

Firm Mailing Address 200 Plantation Chase

City St. Simons Island ST GA Zip 31522 Email pete@tidewatereng.com

Signature Pete Schoenauer Date 02/02/2022

5. Is there any recorded restricted covenant or other private agreement that is contrary to, conflicts with or prohibits the use or activity on the property that is the subject of the application?
(Check one.) yes no

6. In accordance with Section 5.1.2.3 of the North Augusta Development Code, I hereby request the City of North Augusta review the attached project plans. The documents required by the City of North Augusta, as outlined in Appendix B of the North Augusta Development Code, are attached for the City's review for completeness. The applicant acknowledges that all documents required by the City must be correct and complete to initiate the compliance review process by the City.

Matt DeMeyers

2/2/2022

Applicant or Designated Agent Signature

Date

Matt DeMeyers - Matthew's Development, LLC.

Print Applicant or Agent Name



Pre-Submittal, Re-Submittal or Informational Meeting Request

Please fill out this form in its entirety to request a pre-submittal, re-submittal or informational meeting.
Meetings are generally scheduled on Thursdays on a first come, first served basis.
Meetings are scheduled for 30 minutes.

I prefer a meeting:

- Morning (8am to 12pm)
- Afternoon (1pm to 4pm)
- Other

Meeting Format:

- In person
- Virtual (via GoToMeeting)

Meeting Contact Name

Email

Phone

Project Name

Project Location (parcel or address)

Total Project Acreage

Current Zoning (if known)

Describe the proposed project including uses, density and any specific questions:

Please indicate any other departments requested:

- Utilities
- Sanitation
- Parks, Recreation and Tourism
- Engineering
- City Administration
- Building Standards
- Other

Please list any needed accommodations here:

Submit Via Email

Matthew's Development, L.L.C.
1030 Philip Street
New Orleans, LA 70130

February 1st, 2022

City of North Augusta
Planning and Development Department
100 Georgia Avenue
North Augusta, SC 29841

RE: Notice of Appeal
A Portion of TMS # 001-07-01-003
Proposed Popeye's with +/- 1 acre lot of future retail development

To Whom it May Concern:

On behalf of Matthew's Development and its Tenant, RRG Inc. dba Popeye's Louisiana Kitchen, I am submitting the enclosed Notice of Appeal/Variance request. Please find the application, enclosed supporting documents, and information below as consideration of the application.

Matthew's Development is proposing to develop a 2.013 acre outparcel located on a portion of TMS #001-07-01-003, the Quick Trip Parcel. The proposed improvements include a 2,354 sq. ft. Popeye's quick service restaurant and an additional +/- 1 acre parcel for future retail development. The facility will already include drive isles, storm detention and utilities provided by Quick Trip plus improvements to our property including landscaping.

A description of unnecessary hardship created by the requirements of the Development Code (h):

Popeye's is requesting a variance from the 90 foot maximum front setback for the Highway Commercial Corridor Overlay District (3.8.5.3.1 Dimensions Standards: Table 3-9 of the Development Code). A variance of +/- 25 feet is being requested for a maximum setback of +/- 115'.

Popeye's is requesting a variance of the 30% minimum frontage buildout for the Highway Commercial Corridor Overlay District (3.8.5.3.1 Dimensions Standards: Table 3-9 of the Development Code). A variance of +/- 11% is being requested for a minimum Frontage Buildout of +/- 19%.

A description of unnecessary hardship created by requirements of the Development Code (i):

For the safety of our employees and customers, adequate circulation around the building is imperative for vehicular and pedestrian movements. This cannot be achieved through the maximum setback of 90 feet.

A description of any extraordinary or exceptional conditions unique to the property and how they relate to the appeal of Appeal/Variance:

As part of QuickTrip's overall development of this site, in addition to the deceleration lane that they will install, this will improve the overall safety of Edgefield Road and development will be consistent with the

recently approved site plan for QuickTrip, and allow seamless transition from our their property to ours with shared access.

An explanation of why the condition do not generally apply to other property in the area (k):

Besides the recently approved QuickTrip next door, much of the property nearby is currently undeveloped. Beyond that, there is residential, which is not a use that caters to vehicular servicing.

A description of the unreasonable restrictions or prohibitions the Development Code has on the utilization of the property (i):

If they proposed site plan were to comply with the maximum front setback of 90 feet, the dimensions of the drive aisles around the store would need to be compromised. This would result in an unsafe situation for customers, vendors and employees.

If the proposed site plan were to comply with 30% minimum frontage buildout, our site wouldn't be wide enough to handle vehicular circulation around the building and create an unsafe environment for pedestrians and vehicles.

An explanation of why the granting of the variance will not be of substantial detriment to the adjacent property or the public good, or harmful to the character of the district (m):

The subject property is part of the Quick Trip property, and our proposed site plan will be cohesive to the overall development of both sites. The surrounding property around QuickTrip is zoned General Commercial and will not impact future commercial development.

A list and explanation of any voluntary conditions of the variance to minimize any potential adverse impacts (n):

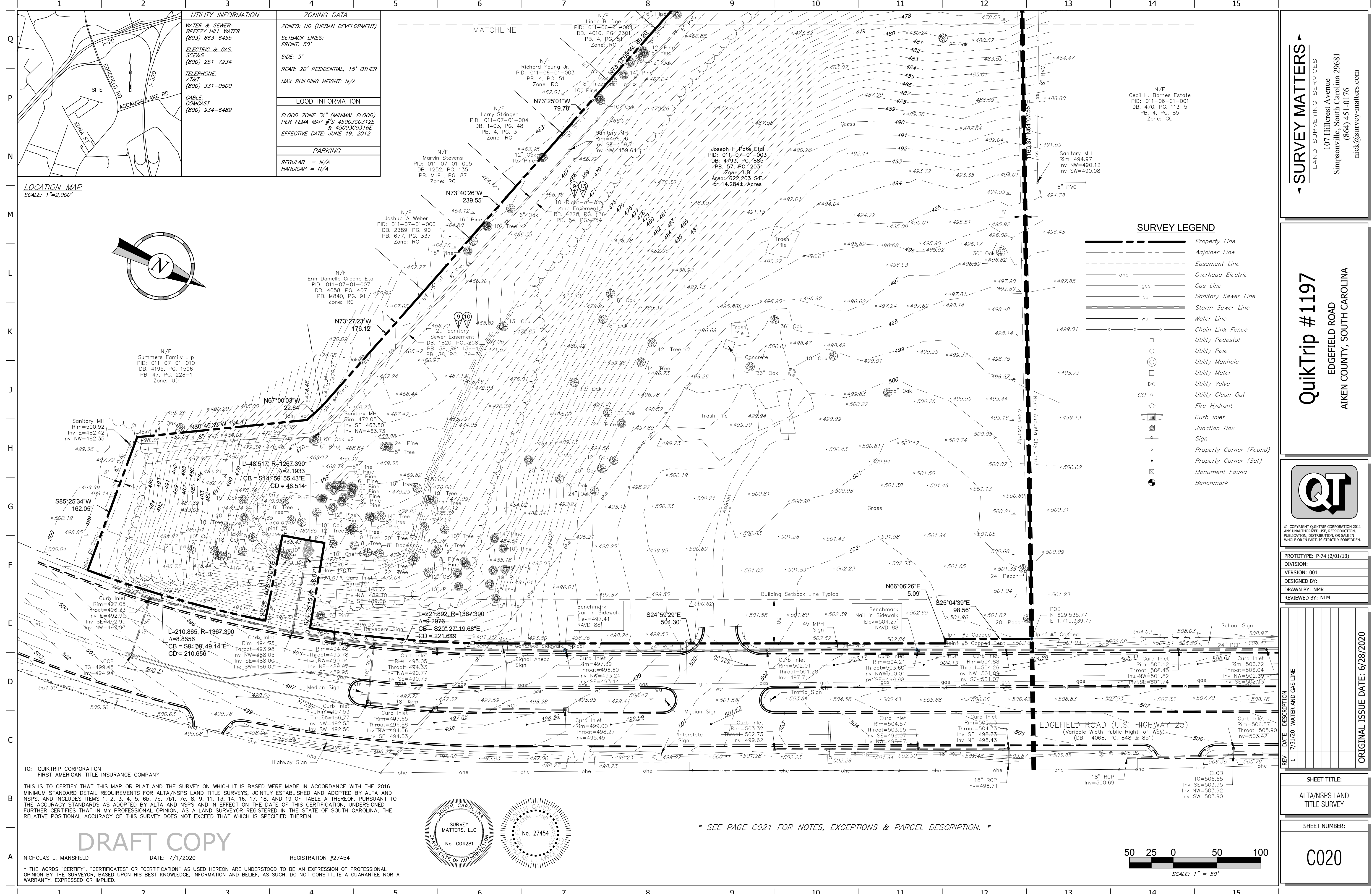
The proposed project will be screened along Edgefield Road in accordance with the current landscaping code.

Based on the aforementioned information, and supporting documents provided, Matthew's Development believes the granting of the +/- 25 feet from the maximum front setback and 19% minimum frontage buildout to be a reasonable request, especially since this is consistent with QuickTrip's current development.

Thank you,

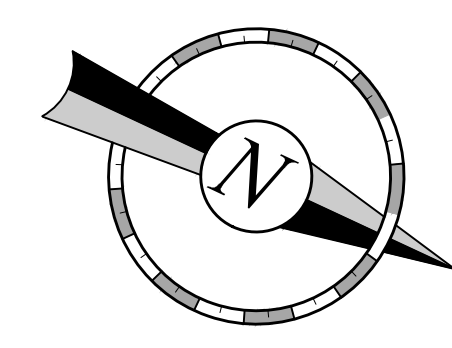


Matt DeMeyers
Matthew's Development, L.L.C.
1030 Philip Street
New Orleans, LA 70130
(504)-284-8880 Mobile
Matt.demeyers@magazinst.com



UTILITY INFORMATION	ZONING DATA
WATER & SEWER: BREEZY HILL WATER (803) 683-6455 ELECTRIC & GAS: SCE&G (800) 251-7234 TELEPHONE: AT&T (800) 331-0500 CABLE: COMCAST (800) 934-6489	ZONED: UD (URBAN DEVELOPMENT) SETBACK LINES: FRONT: 50' SIDE: 5' REAR: 20' RESIDENTIAL, 15' OTHER MAX BUILDING HEIGHT: N/A
	FLOOD INFORMATION
	FLOOD ZONE "X" (MINIMAL FLOOD) PER FEMA MAP #S 45003C0312E & 45003C0316E EFFECTIVE DATE: JUNE 19, 2012
	PARKING
	REGULAR = N/A HANDICAP = N/A

LOCATION MAP
SCALE: 1"=2,000'



SURVEY LEGEND	
	Property Line
	Adjoiner Line
	Easement Line
	Overhead Electric
	Gas Line
	Sanitary Sewer Line
	Storm Sewer Line
	Water Line
	Chain Link Fence
	Utility Pedestal
	Utility Pole
	Utility Manhole
	Utility Meter
	Utility Valve
	Utility Clean Out
	Fire Hydrant
	Curb Inlet
	Junction Box
	Sign
	Property Corner (Found)
	Property Corner (Set)
	Monument Found
	Benchmark

SURVEY MATTERS
 LAND SURVEYING SERVICES
 107 Hillcrest Avenue
 Simpsonville, South Carolina 29681
 (864) 451-0176
 nick@survey-matters.com

QuikTrip #1197
 EDGEFIELD ROAD
 AIKEN COUNTY, SOUTH CAROLINA



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 ANY UNAUTHORIZED USE, REPRODUCTION,
 PUBLICATION, DISTRIBUTION, OR SALE IN
 WHOLE OR IN PART, IS STRICTLY FORBIDDEN.

PROTOTYPE: P-74 (2/01/13)
 DIVISION:
 VERSION: 001
 DESIGNED BY:
 DRAWN BY: NMR
 REVIEWED BY: NLM

REV	DATE	DESCRIPTION
1	7/31/20	WATER AND GAS LINE

SHEET TITLE:
 ALTA/NPS LAND
 TITLE SURVEY

SHEET NUMBER:
 C020

ORIGINAL ISSUE DATE: 6/28/2020

TO: QUIKTRIP CORPORATION
 FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6b, 7a, 7b, 7c, 8, 9, 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDESIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF SOUTH CAROLINA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

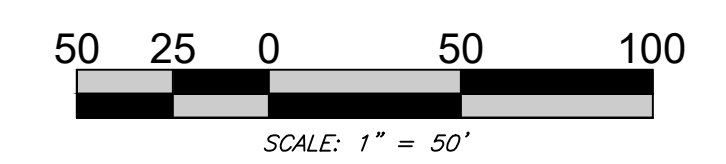
DRAFT COPY

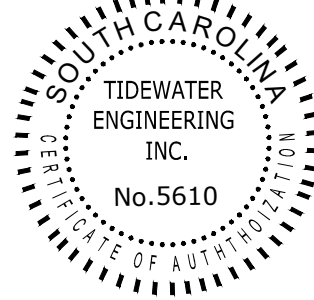
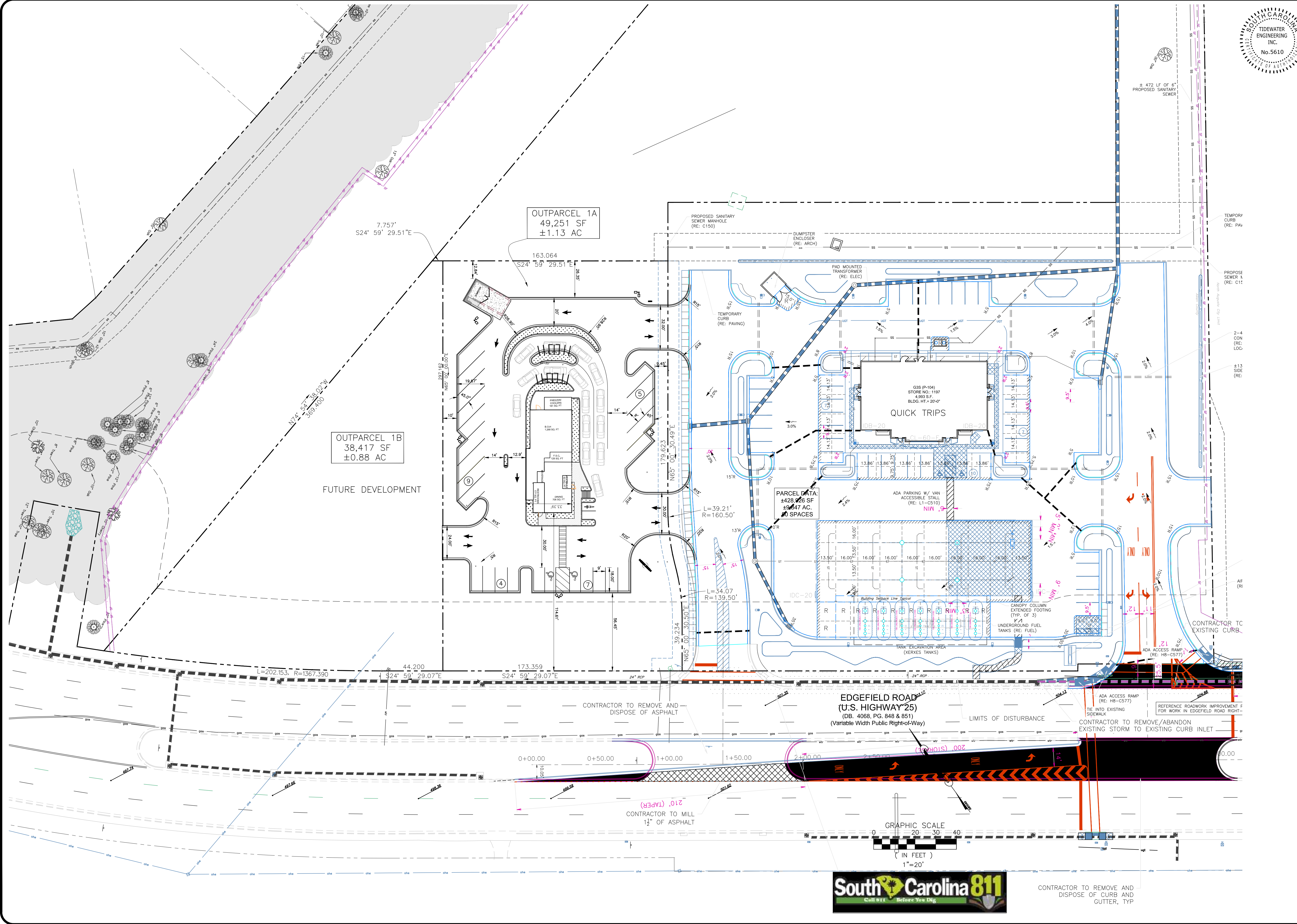
NICHOLAS L. MANSFIELD DATE: 7/1/2020 REGISTRATION #27454

* THE WORDS "CERTIFY", "CERTIFICATES" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DOES NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.



* SEE PAGE C021 FOR NOTES, EXCEPTIONS & PARCEL DESCRIPTION. *





01-18-22

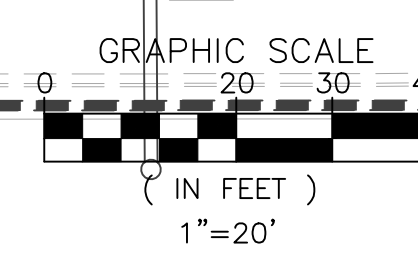
TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 email: info@tidewatereng.com

REV.	DATE:	DESCRIPTION

POPEYE'S
EDGEFIELD ROAD
NORTH AUGUSTA, SC
STAKING PLAN

DRAWN: pss
 APPROVED: pss
 DATE:
 PROJ#: 22-015
 SCALE: AS SHOWN

SHEET
4 OF 19



CONTRACTOR TO REMOVE AND DISPOSE OF CURB AND GUTTER, TYP



Love
That
CHICKEN



Department of Planning and Development



Project Staff Report

ZV22-004 KIA Materials and Lighting

Prepared by: Kuleigh Baker

Meeting Date: March 1, 2022

SECTION 1: PROJECT SUMMARY

Project Name	KIA
Applicant	S&H Enterprises/JLA
Address/Location	5425 Jefferson Davis Highway
Parcel Numbers	013-15-02-001 and 013-20-03-004
Total Development Size	±16.54 ac
Existing Zoning	TC, Thoroughfare Commercial
Overlay	HC, Highway Corridor
Variance Requested	a. NADC Section 3.8.5.10.5 Permitted Materials with Limitations b. NADC Section 7.4, Table 7-2, Exterior Lighting Levels

SECTION 2: BOARD OF ZONING APPEALS CONSIDERATION

Per NADC § 18.4.5.4.2, the Board of Zoning Appeals shall hear and decide appeals for variances from the requirements of Article 3, Zoning Districts, and Article 13, Signs, when strict application of the regulations would result in unnecessary hardship.

A variance may be granted in an individual case of unnecessary hardship if the Board of Zoning Appeals makes and explains in writing, all of the following:

1. An unnecessary hardship exists;
2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
3. The conditions do not generally apply to other property in the vicinity;
4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures

that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)

6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a. To allow the establishment of a use not otherwise permitted in a zoning district.
 - b. To extend physically a nonconforming use of land.
 - c. To change zoning district boundaries shown on the official zoning map.
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.

Based on these findings of fact, the Board of Zoning Appeals may approve, approve with conditions, or deny the request.

SECTION 3: PUBLIC NOTICE

Per NADC Table 5-1, 6. Variance, the application and description were advertised via a public notice describing the variance request and advertising the scheduled date of the Board of Zoning Appeals hearing in *The Star* and www.northaugusta.net on February 9, 2022. A written notice of the variance request and scheduled date of the Board of Zoning Appeals hearing was mailed to the owners of property within 200 feet of the subject property on February 4, 2022. The property was posted with the required public notice on February 9, 2022.

SECTION 4: SITE HISTORY

The subject site consists of two parcels. On August 5, 2021, the Board of Zoning Appeals approved application ZV21-007, a request from KIA for a variance for a maximum front setback of 153.5 feet and a minimum frontage buildout of 26.3 percent. October 4, 2021, North Augusta City Council approved Ordinance No. 2021-13 rezoning ±7.25 acres, TPN 013-20-03-004 from IND, Industrial to TC, Thoroughfare Commercial. The two parcels will be combined prior to final site plan approval. The application is subject to the conditions of the variance requests, Planning Commission approval, and final staff approval.

SECTION 5: EXISTING SITE CONDITIONS

	<u>Existing Land Use</u>	<u>Future Land Use</u>	<u>Zoning</u>
Subject Parcels	Commercial	Commercial/Industrial	TC, Thoroughfare Commercial
North	Commercial/Vacant	Commercial	Outside City Limits
South	Vacant/Industrial	Industrial	IND, Industrial
East	Commercial/Industrial	Mixed Use/Industrial	TC, Thoroughfare Commercial/IND, Industrial
West	Vacant	Commercial	TC, Thoroughfare Commercial

Access – The site currently has access from multiple curb cuts along Jefferson Davis Highway and Revco Road.

Topography – The subject site slopes from the west to east with the highest elevations closer to Jefferson Davis Highway.

Utilities – An existing water and sewer line run through the parcel.

Floodplain – The subject property is not located within a federally designated floodway.

Drainage Basin – The subject property is located in the Womrath Basin which is listed in poor condition in the North Augusta Stormwater Management Stream Water Quality Assessment. The basin has high nutrient levels. The stream channel is effective at transporting stormwater loads

during heavy storm events, but some reaches along Womrath Road are impacted by development-related earth moving activities.

SECTION 6: STAFF EVALUATION AND ANALYSIS

The applicant is requesting a variance from Section 3.8.5.10.5, Permitted Materials with Limitations in the HC, Highway Corridor Overlay District and from Section 7.4, Table 7-2, Exterior Lighting Levels of the North Augusta Development Code.

Variance Request A

Section 3.8.5.10.5.d, Permitted Materials with Limitations in the HC, Highway Corridor Overlay District states:

Drainage-backed synthetic stucco (Drainage-Backed Exterior Insulation Finishing System [Drainage-Backed EIFS]) may be applied to any wall surface eight feet or more above the adjacent grade.

The applicant is requesting EIFS for the full height of any wall surface.

Variance Request B

The maximum lighting levels shall be within the ranges shown in Table 7-2, Lighting Levels, in foot candles.

	A	B	C	D
	Location or Type of Lighting	Minimum	Average	Maximum
1.	Parking Lots	0.6	2.4	10.0
2.	Outdoor Display of Merchandise	0.5	5.0	15.0
3.	Landscape and Decorative Areas	0.0	0.5	5.0
4.	Walkways and Driveways	0.5	2.5	5.0
5.	Canopies (Vehicular and Pedestrian)	5.0	10.0	15.0

The applicant is requesting average lighting levels of 20-50 and maximum lighting levels of 35-75 foot candles for parking lots and outdoor inventory display areas.

Following is analysis required by NADC §5.1.4.5.b:

1. An unnecessary hardship exists;
 - a. The applicant states inventory for sale would not be visible during nighttime sales hours because the lighting levels do not reflect the Illuminating Engineering Society of North America recommendations.
 - b. The applicant states installing EIFS above 8 ft from grade does not comply with KIA corporate standards and is not supported by industry standards adopted by the International Code Council.

2. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - The applicant states that the surrounding commercial businesses are all automobile dealerships and their features being similar warrant the request.

3. The conditions do not generally apply to other property in the vicinity;
 - The applicant states the conditions do not apply to the gas stations surrounding the property nor to similar buildings located in the County.

4. Because of the conditions, the application of this Chapter to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 - The applicant states that the conditions affect KIA's corporate standards and ability to sell inventory.

5. The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance. Harm to the character of the district may include structures that are significantly out of scale, and the creation or potential for the creation of excessive noise, light, traffic or incompatible late night activity. (Rev. 12-1-08; Ord. 2008-18)
 - The applicant states granting the variance would not be of substantial detriment to the adjacent properties since so many are car dealerships nearby. The construction of the new dealership will enhance the character of the district by redeveloping an abandoned lot.

6. In the approval of an application for a variance from the provisions of Article 13, Signs, regulating the size, height, appearance, or location of a sign, the Board of Zoning Appeals shall also find that no alternative signage solution that complies with the provisions of Article 13 is available and would provide adequate visibility, recognition and understanding.
 - Not applicable.

7. The Board of Zoning Appeals may not grant a variance the effect of which would be:
 - a. To allow the establishment of a use not otherwise permitted in a zoning district.
 - Automobile sales and repair is allowed in the TC, Thoroughfare Commercial zoning district.
 - b. To extend physically a nonconforming use of land.
 - The variance does not extend a physically nonconforming use of land.
 - c. To change zoning district boundaries shown on the official zoning map.
 - The application does not propose a change to the zoning district boundaries.

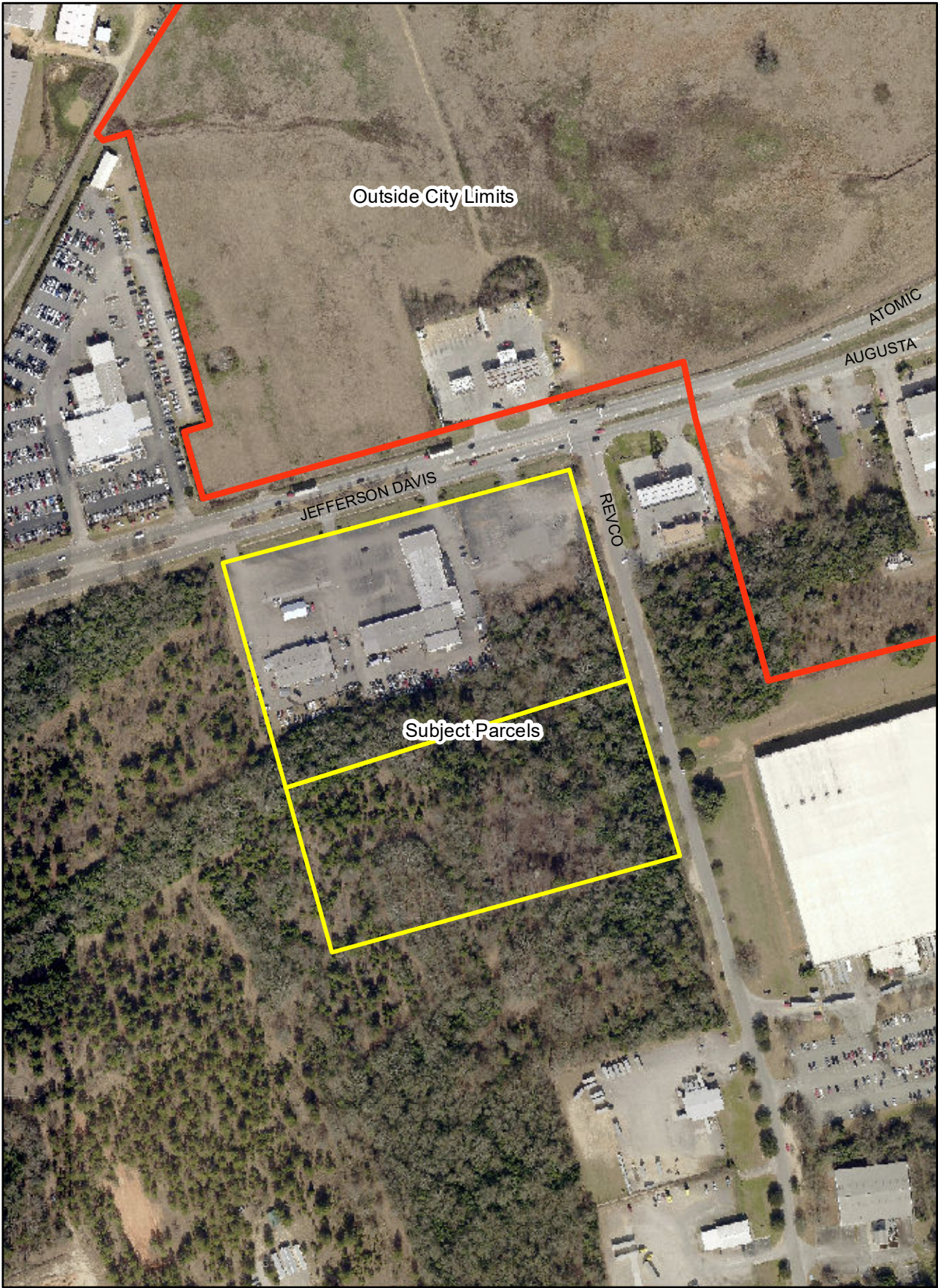
8. If the unnecessary hardship is self-imposed by the applicant the variance should not be granted.
 - The applicant states the hardship is created by the requirements of the development code.

9. The fact that property may be utilized more profitably, should a variance be granted, shall not be considered grounds for a variance.
 - Staff notes that the fact that the property may be utilized more profitably is not the primary purpose of the request.

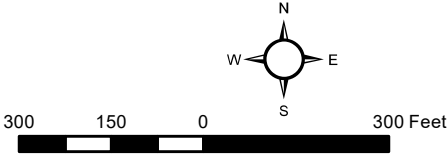
10. In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to promote the public health, safety, or general welfare.
 - This variance, if granted, will apply only to this property.
 - Staff is open to suggestions for other conditions from the Board.

SECTION 7: ATTACHMENTS

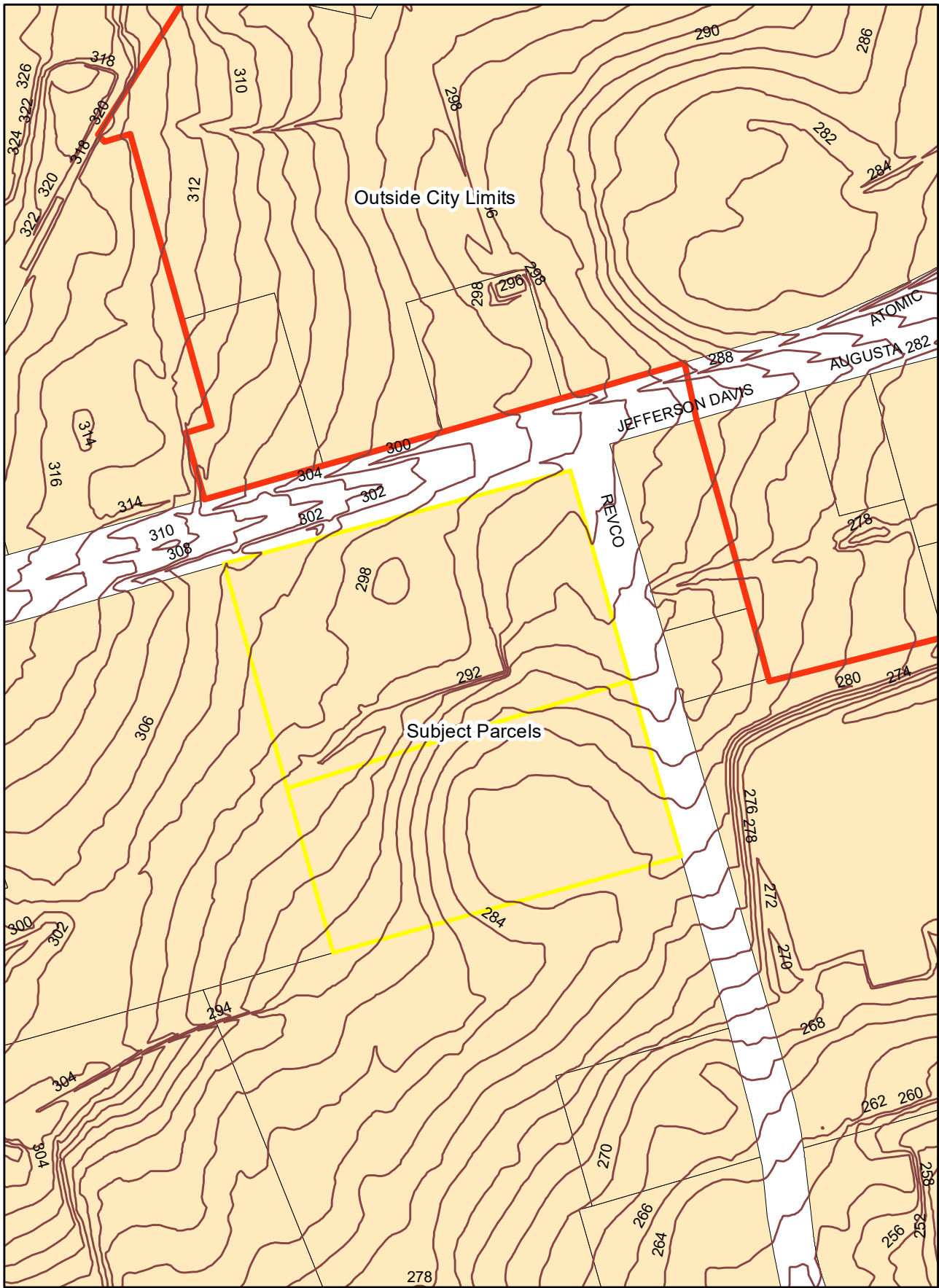
- 1) Aerial
 - 2) Topography
 - 3) Current Zoning
 - 4) Future Land Use
 - 5) Site Photos
 - 6) Public Notice
 - 7) Application Materials
- cc. Will Buchanan, JLA, via email
S&H Enterprises, via email



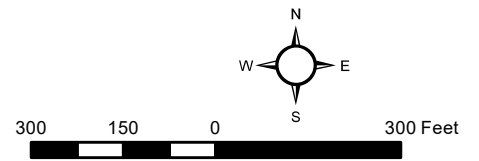
Aerial Map
Application ZV22-004 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



Date: 2/9/2022



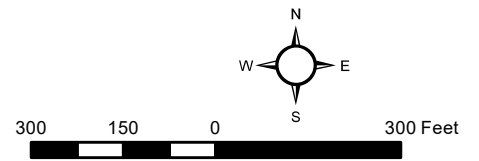
Topography Map
Application ZV22-004 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



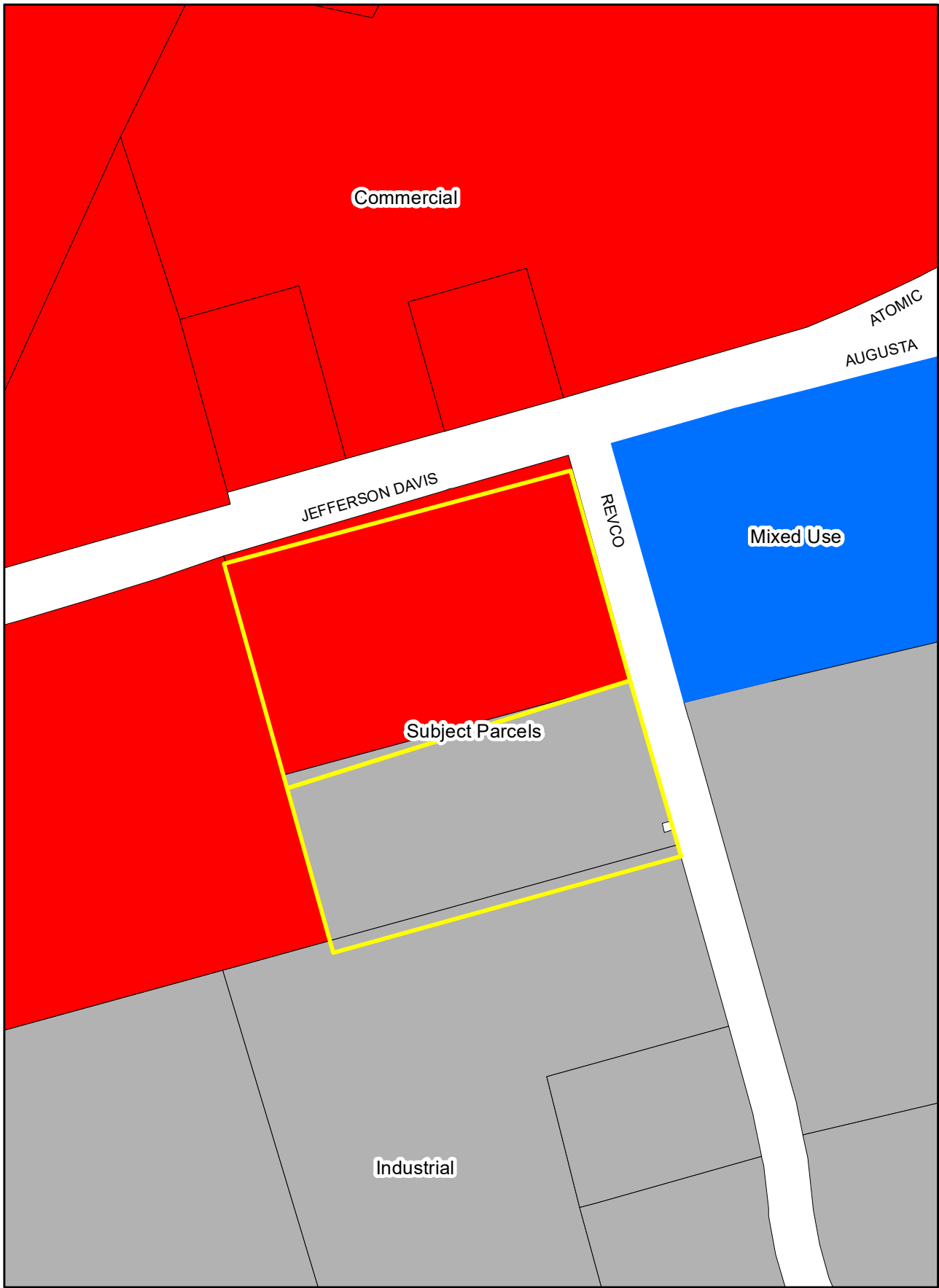
Date: 2/9/2022



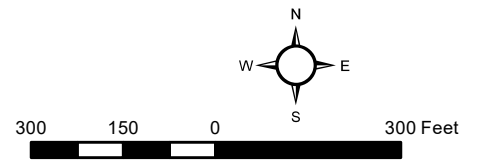
Zoning Map
Application ZV22-004 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



Date: 2/9/2022



Future Land Use Map
Application ZV22-004 KIA
TPNs 013-15-02-001
and 013-20-03-004
Approx. 16.54 ac



Date: 2/9/2022

City of
North Augusta, South Carolina
Board of Zoning Appeals

PUBLIC HEARING NOTICE

The North Augusta Board of Zoning Appeals will hold a public hearing at its regular monthly meeting beginning at 6:00 PM on Tuesday, March 1, 2022 in the Council Chambers, North Augusta Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina, to receive public input on the following applications:

ZV21-001 and ZV22-004 – A request by S&H Enterprises represented by JLA for variances from Section 3.8.5.8.5, Front Setback Landscaping; Section 3.8.5.10.5, Permitted Materials with Limitations; and Section 7.4, Table 7-2, Exterior Lighting Levels of the North Augusta Development Code. The application affects a proposed car dealership on ±16.54 acres located at 5425 Jefferson Davis Highway, TPNs 013-15-02-001 and 013-20-03-004 zoned TC, Thoroughfare Commercial, and within the HC, Highway Corridor Overlay District.

ZV22-002 – A request by Carolyn Marie Anderson for a variance from Section 3.5.8, Dimensional Standards, Corner Side Yards of the North Augusta Development Code. The application affects a proposed carport addition located at 723 Indian Mound Drive, TPN 002-20-06-012 on ±0.26 acres zoned R-14, Large Lot, Single-Family Residential.

ZV22-003 – A request by Matthew's Development, LLC for a front setback greater than the maximum permitted and a frontage buildout less than the minimum permitted by North Augusta Development Code, Section 3.8.5.3, Table 3-9, Dimensional Standards. The request affects a proposed restaurant on ±2.01 acres located along Edgefield Road, a portion of TPN 011-07-01-003, zoned GC, General Commercial, and within the HC, Highway Corridor Overlay District.

Documents related to the applications will be available for public inspection after February 24, 2022 in the offices of the Department of Planning and Development on the second floor of the Municipal Center, 100 Georgia Avenue, North Augusta, South Carolina and online at www.northaugusta.net. All residents and property owners interested in expressing a view on these cases are encouraged to attend or provide written comments to planning@northaugusta.net

CITIZEN ASSISTANCE: Individuals needing special assistance or a sign interpreter to participate in the meeting are asked to please notify the Department of Planning and Development at 803-441-4221 at least 48 hours prior to the meeting.

Designation of Agent

Please type or print all information



Please complete if the property owner is not the applicant.

Staff Use Only	
Application Number <u>ZV22-004</u>	Date Received <u>2-3-22</u>

1. Project Name New KIA Dealership
Project Address/Location 5425 Jefferson Davis Hwy., Beech Island, SC 29842
2. Property Owner Name SCH ENTERPRISES Owner Phone 706 312 9200
Mailing Address 1770 GORDON HWY
City AUGUSTA ST GA Zip 30904
Owner Email ghodges@stokesauto.com Owner Fax 800 690 0311
3. Designated Agent William T. Buchanan, P.E.
Relationship to Owner Project Civil Engineer
Firm Name Johnson, Laschober & Associates Phone 706-724-5756
Mailing Address 1296 Broad Street
City Augusta ST Georgia Zip 30901
Email wbuchanan@theJLAgrouop.com Fax 706-724-3955
Signature William T. Buchanan Date 7/1/2021

4. I hereby designate the above-named person to serve as my agent and represent me in the referenced application.

Owner Signature [Signature] Date 7/1/2021

5. Sworn and subscribed to before me on this 1st day of JULY, 2021.

Renny K. Sells
Notary Public

August 13, 2025
Commission Expiration Date

My Commission Expires
August 13, 2025

North Augusta Kia Variance Request Checklist Items- Checklist Response Document

- A. No decision is being appealed. This application is a request for a variance to one building ordinance and one site ordinance that apply to the site located on Jefferson Davis Highway.
- B. The required fee is included with this submittal.
- C. A copy of the same executed Designation of Agent that was attached to the 10-28-2021 Site Plan submittal is included with this submittal.
- D. CV001 shows the existing conditions survey.
- E. Sheets A-101, A-102 and A-103 show the building floor plans, sheet A-401 shows the building elevations and ES100 and ES100 photometrics show the site lighting.
- F. The following information is being provided to support the recognized national design standards for outdoor illumination:
1. Illuminating Engineering Society (IES), The Lighting handbook
 2. Hubbell Corporation, Auto Dealership Outdoor Lighting Guide
 3. KIA Design Intent Documents (DID) requirements for Site Lighting
 4. International Dark Sky Association, Information Sheet 77.
- G. Included are the KIA corporation Design Intent Documents (DID) that are the basis for their corporate and national image branding for new facility design.
- H. Please refer to the included A-401 and ES100 plans. The follow Sections of the North Augusta Development Code are referenced, and consideration is requested for full relief of the following two ordinances:
1. NADC SEC 3.8.5.10.d limits the use of drainage-back synthetic stucco to use only above 8'-0" above adjacent grade. "Drainage-backed synthetic stucco (Drainage-Backed Exterior Insulation Finishing System [Drainage-Backed EIFS]) may be applied to any wall surface eight feet or more above the adjacent grade. (Rev. 2-21-11; Ord. 2011-01) (Rev. 5-16-16; Ord. 2016-09)

Relief is requested of this requirement to allow for the use of Drainage-Backed EIFS for the full height of any wall surface. Relief of the limitation of use will allow this facility to be in compliance with KIA corporations national design standards for

branding and new facilities construction. Limited use of this product is not supported by the International Code Council (ICC) which governs the use and application of building materials and methods for new and existing structures. South Carolina has adopted the use of the 2018 ICC codes as the recognized standard for effectively designing, constructing, and regulating structures. EIFS is a recognized, approved and regulated building construction material and has been since the inclusion of the system in the 2009 version of the ICC International Building Code.

2. NADC Chapter 18 SEC 7.4, Table 7-2 Lighting Levels sets guidelines for exterior lighting levels.

Relief is requested of the limitations of average and maximum light levels that are prescribed by this ordinance. The light levels presented in this table do not reflect the Illuminating Engineering Society of North America (IES) recommendations for outdoor lighting of automobile dealerships (average FC ratings of 20-50 and maximum levels of 35-75 FC) or reflect the advancements in lighting technology that have occurred, particularly with LED lighting, in the past 15 years.

- I. Not being granted relief from these ordinances provides various hardships to the client:
 - o Inventory for sale is not highlighted and highly visible during nighttime sales hours.
 - o Installing the EIFS system above 8'-0" from grade is not in compliance with KIA corporate standards for branding recognition and new buildings and is not supported by construction industry recognized standards for this building product/material.

J. The extraordinary or exceptional conditions unique to the property are the surrounding commercial businesses are all automobile dealerships having building features similar to these requested in this variance.

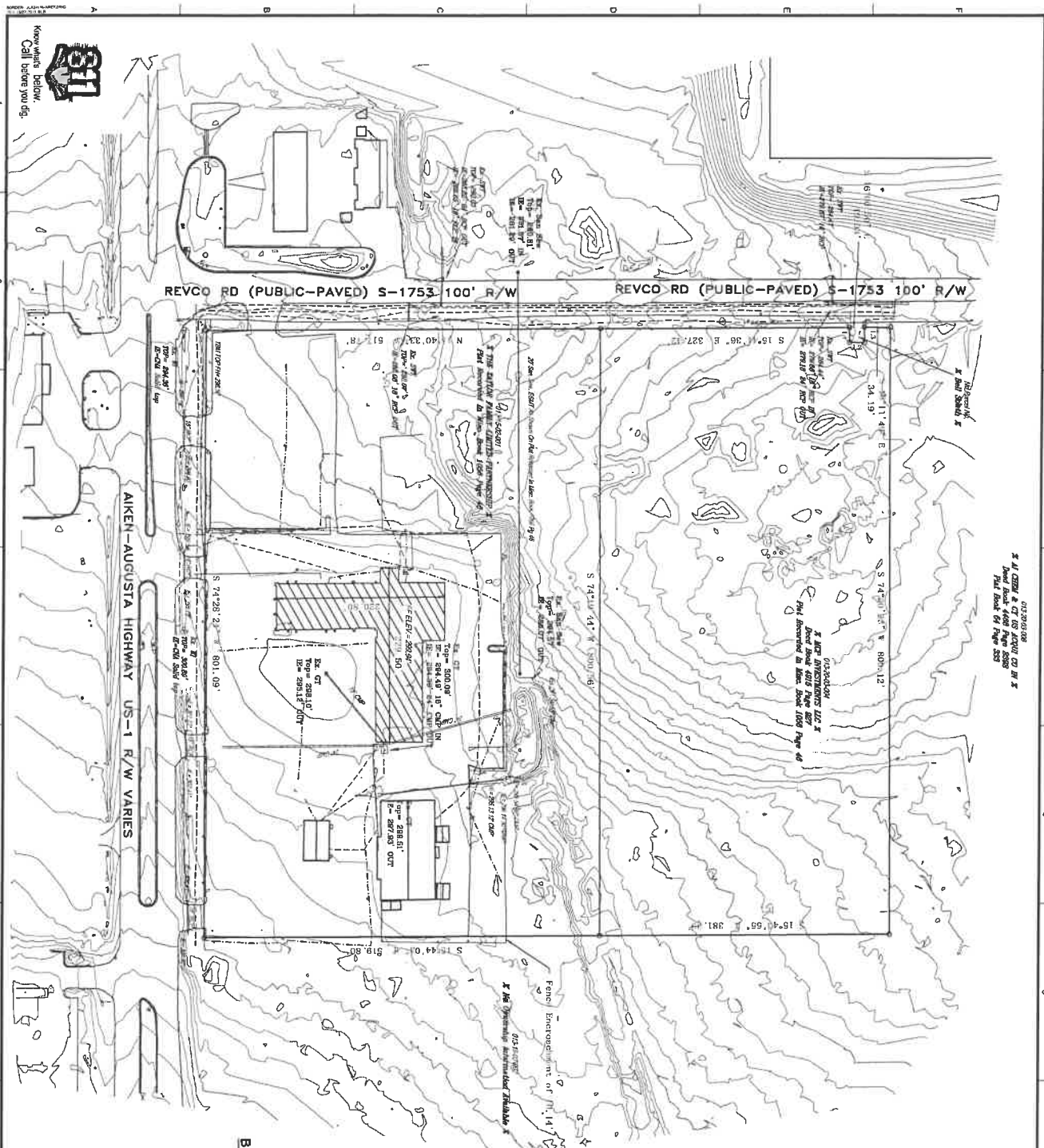
K. This property is situated at the end of the Highway Corridor overlay district (the last property). Adjacent properties across the street and to the right are gas stations, the property 200 yards down the road is a junk yard with abandoned cars and the other properties to consider are the three existing car dealerships. At least one of the structures, the car dealership to the left-hand side is currently being constructed with similar detailing.

- L. Please see Section I

M. Granting this variance request will not be of substantial detriment to the adjacent property, to the public good, or harmful to the character of the district. As mentioned in Section J above, adjacent properties are all car dealerships. Construction of this new dealership will enhance the character of the district by removing an abandoned building that had become an eyesore to the area.

N. We do not believe that any of the requested variances will result in potential adverse impacts.

O. N/A



BOUNDARY & TOPOGRAPHICAL SURVEY

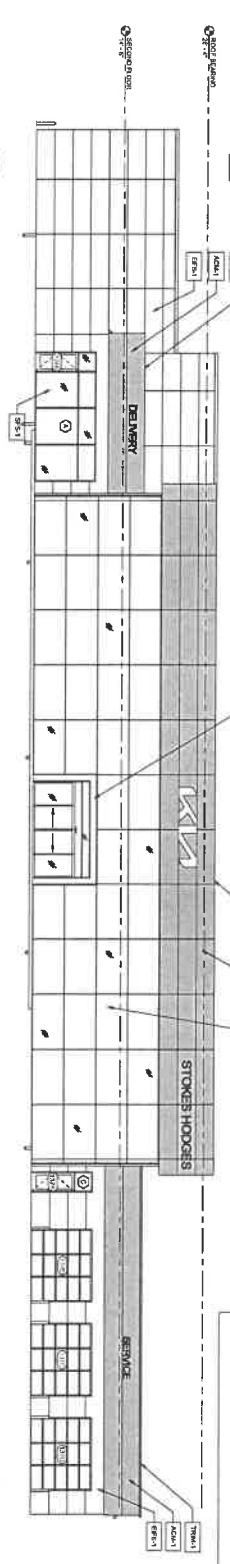
UTILITY WARNINGS:
 Information and existing drawings. The engineer makes no guarantee as to the accuracy of the information shown on this drawing. The engineer does not warrant the accuracy of the information shown on this drawing. The engineer does not warrant the accuracy of the information shown on this drawing. The engineer does not warrant the accuracy of the information shown on this drawing. The engineer does not warrant the accuracy of the information shown on this drawing.

Scale: 1" = 50'

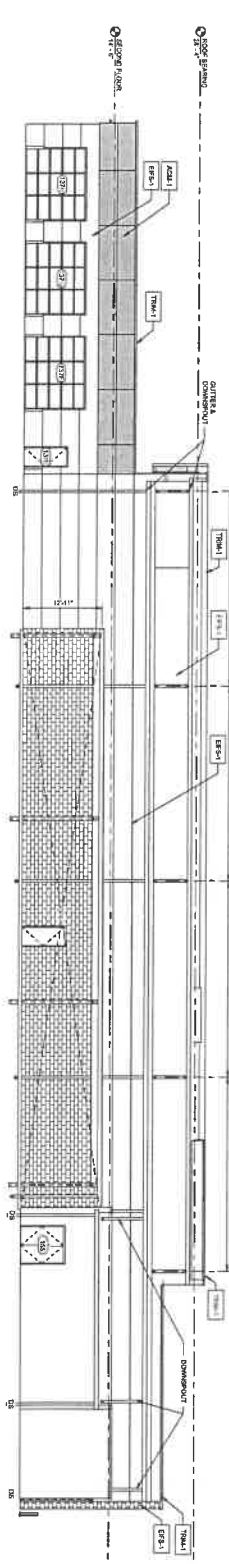
DRAWING NO. CV101 SHEET NO. B	PROJECT NO. 0261.2101 DRAWN BY WJB CHECKED BY 0261/0201	DATE 01/12/22	BY WJB	DESCRIPTION REVISED PER NA REVIEW COMMENTS & SCDOT SUBMITTA	CLIENT: S & H ENTERPRISES 1650 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829 PROJECT NAME: NEW KIA DEALERSHIP PROJECT LOCATION: JEFFERSON DAVIS HWY., BEFCH ISLAND, SC 29841	
		DATE 10/29/21	BY WJB	DESCRIPTION ISSUE FOR REVIEW AND COMMENT		

GENERAL NOTES

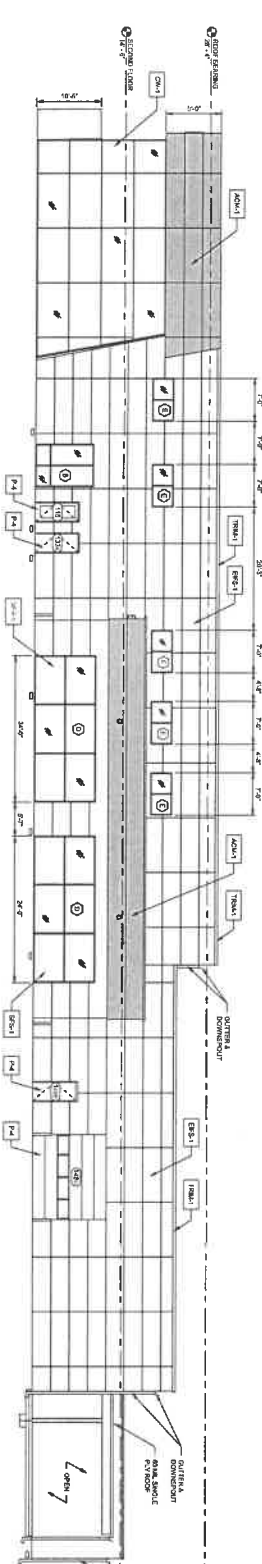
1. SEE DESIGN NOTES DOCUMENTS FOR THE PROJECT SPECIFIC DESIGN PROGRAM.



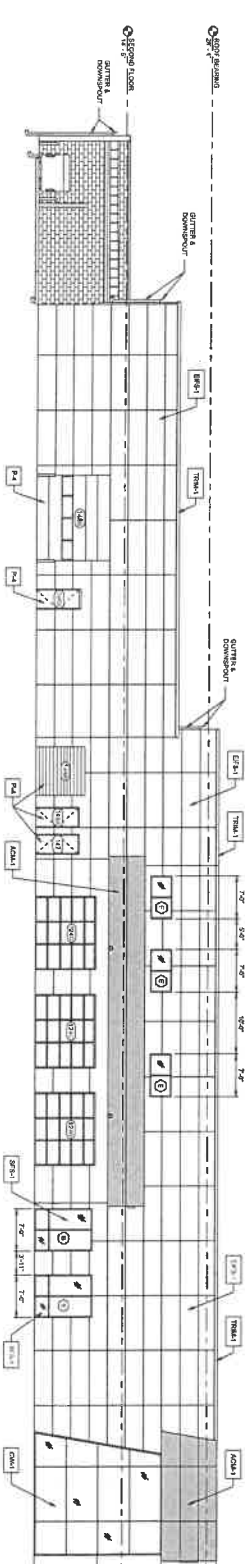
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



CLIENT: S & H ENTERPRISES
1850 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29628

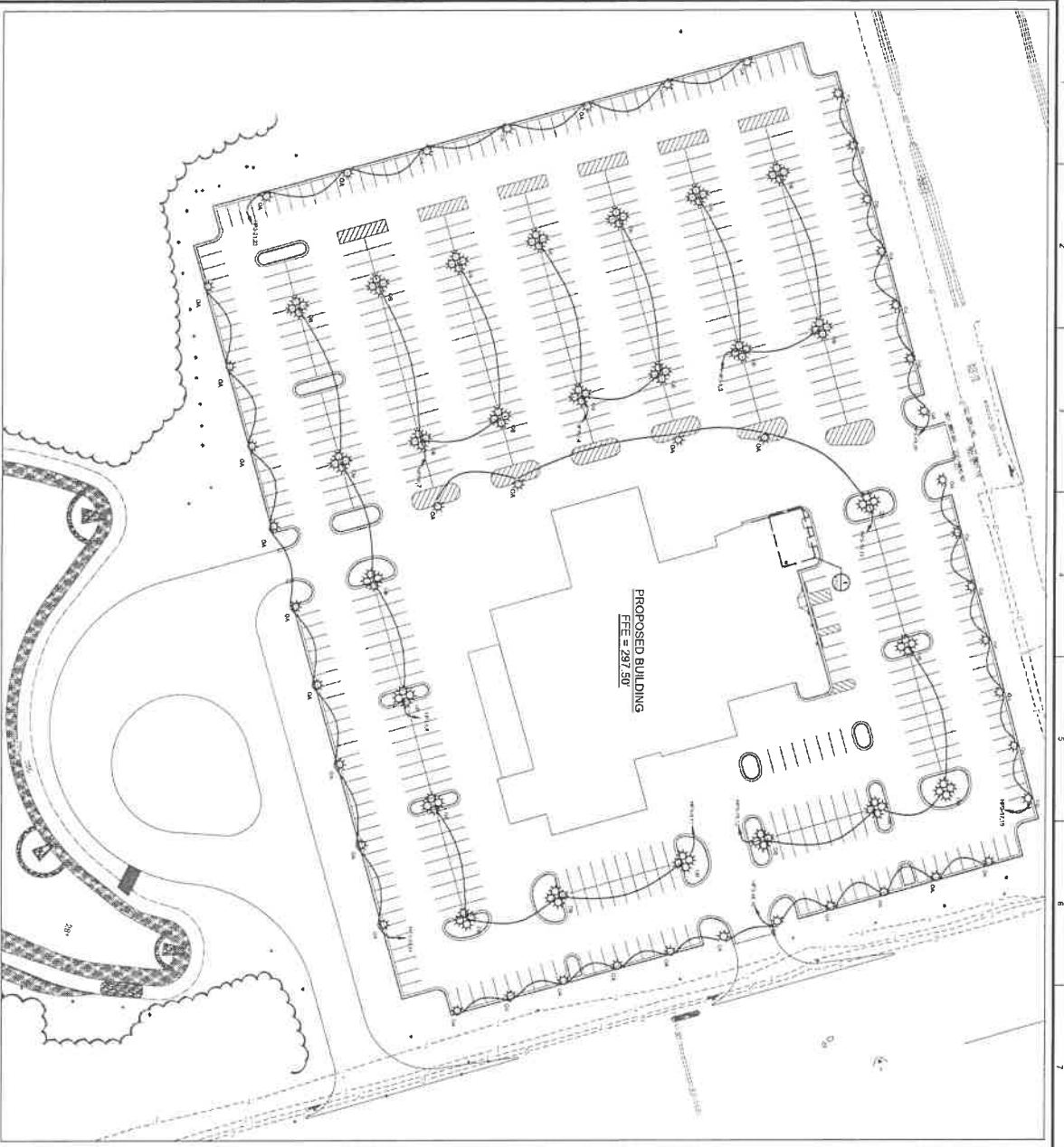
PROJECT NAME: NEW KIA DEALERSHIP

PROJECT LOCATION: JEFFERSON DAVIS HWY., BEACH ISLAND, SC 29641

NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION

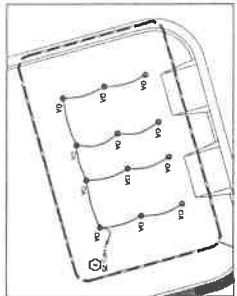
SCALE: AS NOTED
A-401
C



1 ELECTRICAL SITE PLAN
SCALE: AS NOTED

- ELECTRICAL SITE PLAN GENERAL NOTES:**
1. IDENTIFY LOCATION OF SERVICE BOXES TO BE INSTALLED OR EXISTING SERVICE BOXES TO BE REMOVED OR CHANGED. PROVIDE EXACT LOCATION WITH OWNER'S PROJECT.
 2. IDENTIFY EXACT LOCATION OF ALL SERVICE BOXES TO BE INSTALLED OR EXISTING SERVICE BOXES TO BE REMOVED OR CHANGED. PROVIDE EXACT LOCATION WITH OWNER'S PROJECT.
 3. TO IDENTIFY THE LOCATION OF ALL SERVICE BOXES TO BE INSTALLED OR EXISTING SERVICE BOXES TO BE REMOVED OR CHANGED. PROVIDE EXACT LOCATION WITH OWNER'S PROJECT.
 4. IDENTIFY THE LOCATION OF ALL SERVICE BOXES TO BE INSTALLED OR EXISTING SERVICE BOXES TO BE REMOVED OR CHANGED. PROVIDE EXACT LOCATION WITH OWNER'S PROJECT.

- ELECTRICAL SITE PLAN KEYED NOTES:**
1. SERVICE BOX
 2. SERVICE BOX LOCATION WITH OWNER'S PROJECT
 3. SERVICE BOX LOCATION WITH OWNER'S PROJECT
 4. SERVICE BOX LOCATION WITH OWNER'S PROJECT



1 ELECTRICAL SITE PLAN
SCALE: AS NOTED

SYMBOL	DESCRIPTION	NOTES
[Symbol]	Service Box	...
[Symbol]	Service Box Location with Owner's Project	...
[Symbol]	Service Box Location with Owner's Project	...
[Symbol]	Service Box Location with Owner's Project	...

EXISTENCE	PROVIDE	REMOVE	INSTALL	REPLACE
+	-	+	-	+
+	-	+	-	+
+	-	+	-	+
+	-	+	-	+

<p>SCALE: AS NOTED</p> <p>DATE: 10/10/2010</p> <p>PROJECT NO: 07-03-3103</p> <p>DESIGNER: JLV</p> <p>DATE: 10/10/2010</p> <p>PROJECT NO: 07-03-3103</p> <p>DESIGNER: JLV</p> <p>DATE: 10/10/2010</p>	<p>CLIENT: S & H ENTERPRISES</p> <p>1650 JEFFERSON DAVIS HWY., GRANITEVILLE, SC 29829</p> <p>PROJECT NAME: NEW KIA DEALERSHIP</p> <p>PROJECT LOCATION: JEFFERSON DAVIS HWY., BEECH ISLAND, SC 29841</p>	<p>JOHN J. JONES & ASSOCIATES, P.C.</p> <p>1100 S. GARDNER PARKWAY, SUITE 100</p> <p>WYOMING, DELAWARE 19781</p>
	<p>ES100</p> <p>A</p>	<p>DATE: 10/10/2010</p> <p>PROJECT NO: 07-03-3103</p> <p>DESIGNER: JLV</p> <p>DATE: 10/10/2010</p> <p>PROJECT NO: 07-03-3103</p> <p>DESIGNER: JLV</p> <p>DATE: 10/10/2010</p>	JOHN J. JONES & ASSOCIATES, P.C. 1100 S. GARDNER PARKWAY, SUITE 100 WYOMING, DELAWARE 19781